

An
Bord
Pleanála

Board Direction
BD-014102-23
ABP-313948-22

The submissions on this file and the Inspector's report were considered at a Board meeting held on 09/10/2023.

The Board decided to grant permission generally in accordance with the Inspector's recommendation, for the following reasons and considerations, and subject to the following conditions.

Reasons and Considerations

Having regard to:

- the zoning of the site in the current development plan for the area;
- the specific 'ED' superscription attached to the zoning;
- Objective PHP7 of the Plan which supports the identification of sites for schools within the county;
- proposals put forward for the redevelopment and reuse of the vacant Protected Structure on the site, the minimal/limited interventions proposed to the walled garden associated with the Protected Structure, and the provisions of Policy Objective HER8 concerning works to Protected Structures in the county;
- retention of the maximum number of mature trees consonant with the construction of a school for 1,000 pupils, the extensive efforts made to retain, as far as is practicable, important/specimen trees on the site, the contents of the applicant's Arboricultural Report (received by the planning authority on the 04/06/21), the applicant's response to the planning authority's further

development.

Reason: In the interest of the visual amenities of the area.

3. The proposed ballcourt enclosure on the roof of block B, shall be finished in a black colour, which aligns with the sample imagery included on Drawing P19-073K-RAU-15-XX-DR-A-37002, received by the planning authority on the 15th day of March 2022.

Reason: In the interest of visual amenity.

4. Detailed plans and specifications of the proposed 'Toucan' crossing, relocated bus stop and alterations to bicycle lanes and footpaths on Newtownpark Avenue, with particular regard to pedestrian and cyclist access, shall be agreed with the planning authority prior to commencement of development.

Reason: In the interest of traffic and pedestrian safety.

5. Prior to the commencement of development, the Applicant shall submit to the planning authority for written agreement:

(a) A detailed strategy and methodology for the planned refurbishment works to 'Abilene'.

(b) A detailed strategy and methodology for the planned refurbishment works to the entrance gates and wing walls to 'Abilene'.

(c) A structural/condition survey of the perimeter walls to the walled garden and the northern and southern site boundary walls. This should include an elevation survey drawing along the length of the walls, reflecting any changes in composition and identifying areas of deterioration or loss of mortar and analysis of the method of construction (i.e. material, bonding pattern, method of pointing and mortar analysis). A Method Statement shall be submitted for any repairs necessitated and any proposals for increasing the height of boundary walls, which conforms to best practice as set out in 'Irish Stone Walls – History, Building, Conservation', by Pat

required, a National Parks & Wildlife Service (NPWS) derogation licence shall be obtained.

Reason: To mitigate a potential impact on bats, which are afforded a regime of special protection under the European Habitats Directive.

9. (a) Prior to commencement of development, all trees which are to be retained shall be enclosed within stout fences, not less than 1.5m in height. This protective fencing shall enclose an area covered by the crown spread of the branches, or at minimum a radius of two metres from the trunk of the tree, and shall be maintained until the development is completed.

(b) No construction equipment, machinery or materials shall be brought onto the site for the purpose of the development until all trees which are to be retained have been protected by this fencing. No work shall be carried out with the area enclosed by the fencing and, in particular, there shall be no parking of vehicles, placing of site huts, storage compounds or topsoil heaps, storage of oil, chemicals or other substances, and no lighting of fires, over the root spread of any tree to be retained.

Reason: To protect trees during the construction period and in the interests of visual amenity.

10. Prior to commencement of development, the developer shall lodge with the planning authority a cash deposit, a bond of an insurance company or other such security as may be accepted in writing by the planning authority, to secure the protection of the trees on site which are to be retained, and to make good any damage caused during the construction period, coupled with an agreement empowering the planning authority to apply such security, or part thereof, to the satisfactory protection of any tree or trees on the site, or the replacement of any such trees which die, are removed or become seriously damaged or diseased within a period of three years from the substantial completion of the development, with others of similar size and species. The form and the amount of the security shall be as agreed

planning authority.

Reason: In order to safeguard the residential amenities of property in the vicinity.

15. The construction of the development shall be managed in accordance with a Construction Management Plan, which shall be submitted to, and agreed in writing with, the planning authority, prior to commencement of development. This plan shall provide details of intended construction practice for the development, including noise/dust/vibration management measures.

Reason: In the interests of public safety and residential amenity.

16. No additional development shall take place above roof parapet level, including lift motor enclosures, air handling equipment, storage tanks, ducts, solar arrays or other external plant, telecommunication aerials, antennas or equipment, unless authorised by a further grant of planning permission.

Reason: To protect the residential amenities of property in the vicinity and the visual amenities of the area.

17. Lighting shall be provided in accordance with a scheme, details of which shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. Such lighting shall be provided prior to the occupation of the new school buildings. Lighting within the application site shall be controlled to avoid light pollution of green areas and shall be targeted to areas of human activity and for priority security areas. In this regard, motion-activated sensor lighting shall be utilised across the site. In addition, the lighting design for the development (P2 lighting class) shall be dimmed permanently to 70% output to allow for a lighting class to match the adjoining road, and there shall be no timed lighting within the site for after-school hours.

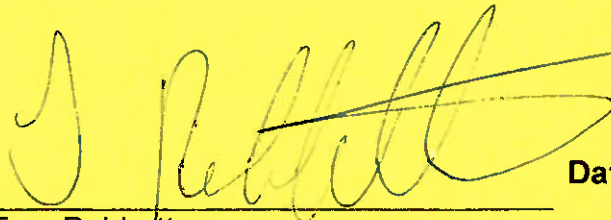
facilities shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. Thereafter, the waste shall be managed in accordance with the agreed plan.

Reason: To provide for the appropriate management of waste and, in particular recyclable materials, in the interest of protecting the environment.

22. Construction and demolition waste shall be managed in accordance with a construction waste and demolition management plan, which shall be submitted to, and agreed in writing with, the planning authority prior to commencement of development. This plan shall be prepared in accordance with the "Best Practice Guidelines on the Preparation of Waste Management Plans for Construction and Demolition Projects", published by the Department of the Environment, Heritage and Local Government in July 2006. The plan shall include details of waste to be generated during site clearance and construction phases, and details of the methods and locations to be employed for the prevention, minimisation, recovery and disposal of this material in accordance with the provision of the Waste Management Plan for the Region in which the site is situated.

Reason: In the interest of sustainable waste management.

Board Member



Tom Rabbette

Date: 12/10/2023