

Figure 16.23: National Monument Nos. 14 – 17 Moore Street and the area defined around it to ascertain impact

Nos. 14 – 17 Moore Street is outside of the proposed Dublin Central Masterplan area but shares its northern and southern boundaries with Site 4 (Figure 16.23). Nos. 13, 18, 19 Moore Street are within Site 4 of the Dublin Central Masterplan area. There is an existing planning permission and Ministerial Consent (C494) in place for the conservation and adaptation of Nos. 14 – 17 Moore Street (and the Pre-1916 structures) into a commemorative centre. The works include the walls and yard and the upstanding fabric of Nos. 8 – 9 Moore Lane (including the surviving façade onto Moore Lane) and a new two storey extension to be constructed on the northern side of No. 17 Moore Street, which will require the demolition of No. 18 Moore Street (a post 1916 structure). The southern side of No. 18 Moore Street, No. 18A Moore Street, is in the ownership of the State and the northern side is within the ownership of the Applicant. This new structure will provide an active edge onto the new public plaza (in Site 4) and will protect the party wall of No. 17 Moore Street.

Battlefield

Structures

The assessment of the 1916 Battlefield, mapping of events and the identification of 1916 fabric within the Dublin Central Masterplan area is discussed in detail in Chapter 15: (Cultural Heritage (Architectural)). The forensic assessment and historic review of the structures in the urban block has led to the retention of a number of structures that were standing in 1916: -

- Nos. 20 – 21 Moore Street.
- Party wall of No. 13 Moore Street.
- No. 10 Moore Street.
- Nos. 8 – 9 Moore Street / 11 – 13 Henry Place.
- Nos. 6 – 8 Moore Lane.
- No. 17 Moore Lane.

Though previously considered to be contemporary with the events of the 1916 Easter Rising, forensic evidence has shown that No.10 Henry place was found to be rebuilt after 1916 (see Chapter 15: Cultural Heritage (Architectural)). The 'White House', as it was known, was subject to intense fire from the Rotunda and had the potential to reveal evidence of the battle. Whilst the structure will be removed, the footprint of the building will be retained, and a gallery space will be developed.

Laneways

Though not designated, associated with the events of the 1916 Easter Rising are the laneways surrounding the monument, comprising Henry Place, Moore Lane and O'Rahilly Parade, which formed part of the battleground and the evacuation route from the GPO. These streets significantly aid the interpretation of the events of the 1916 Easter Rising and as such are being retained within the Dublin Central Masterplan area.

Stone setts and granite kerbing survive on Moore Lane and O'Rahilly Parade beneath a tarmac surface (Figure 16.24).



Figure 16.24: Stone paving in-situ (left) and Granite paving in-situ (right).

A GPR survey carried out on the streets within the Dublin Central Masterplan area has identified what appears to be the substantial survival of stone setts along Moore Lane and O'Rahilly Parade and the complete absence of stone setts on Henry Place. The data suggests that the surface along Henry Place was replaced by reinforced concrete slab. When the GPR results are overlain with existing services it is clear that the setts were lifted and re-laid on several occasions (Figure 16.25, see Chapter 15: Cultural Heritage (Architectural) and Chapter 12: Landscape and Visual Impact Assessment).

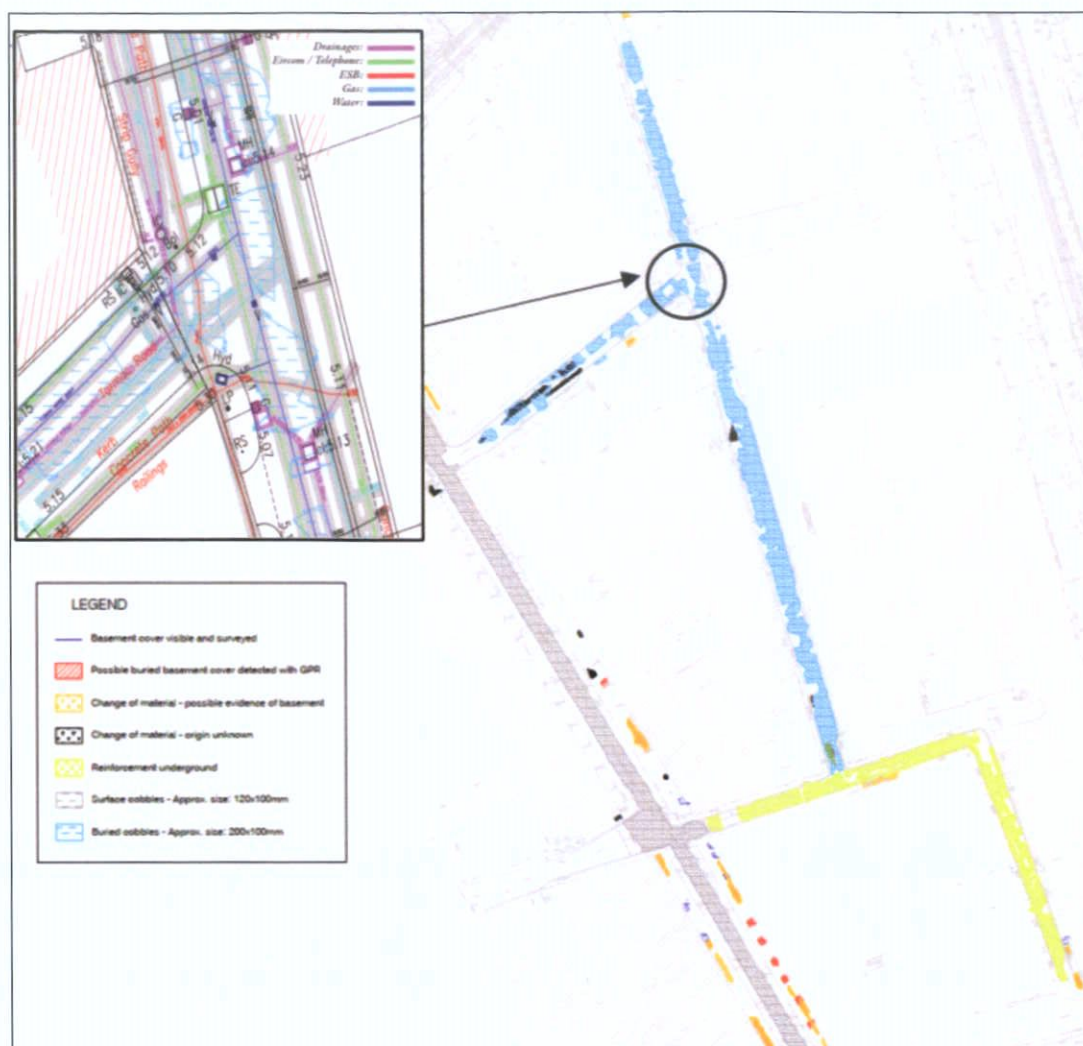


Figure 16.25: GPR survey of the lanes within the Dublin Central Masterplan area (inset shows the services with the lane).

As mentioned above a mid to late 19th century service tunnel running c. 20m along the top of Moore Lane was recently identified running from the former public house 'Devlin's Pub' (during excavations for Nos. 17 – 19 Moore Lane) with bottling stores south along Moore Lane, WA Gilbey's stores (no longer upstanding to the rear of Nos. 46 O'Connell Street). No other tunnels were present in the GPR survey data.

The stone setts and kerbing will be recorded, lifted, and stored during construction of the Dublin Central Development and will be reused and reinstated in appropriate locations along the laneways in accordance with best conservation practice (see Chapter 15: Cultural Heritage (Architectural)). There is a potential that earlier fabric, or the build-up of surfaces associated with 'Old Brickfield Lane' may survive beneath this surface.

16.4.4.1.3 Parnell Monument

The Charles Stewart Parnell monument at the junction of O'Connell Street and Parnell Street is also a National Monument (RMP DU018-425) in the care of the Local Authority. In 1899, the foundation stone was laid for a monument dedicated to Charles Stewart Parnell (1846 – 1891) and after a protracted project the monument was unveiled on 1 October 1911 to large crowds (RMP Files).

16.4.4.2 Record of Monuments and Places (RMP sites)

The Record of Monuments and Places (RMP) is a statutory list of archaeological monuments provided for in the National Monuments Act (as amended). The heretofore mentioned National Monument of Nos. 14 – 17 Moore Street (RMP DU018-390) is also a recorded monument.

Located just inside the Dublin Central Masterplan area to the north is a brickworks site (DU018-020506) (Figure 16.26), however excavation and cartographic sources shows that it is likely to have been located in an area defined by Parnell Street, Moore Street, Moore Lane and Henry Place, and potentially may have extended as far as O’Connell Street (cf. Section 2.3).

The brickworks site is also recorded in the Dublin City Industrial Heritage Record (DCIHR Ref. 18_07_110). There are no further DCIHR sites recorded in the vicinity of the Dublin Central Masterplan area.

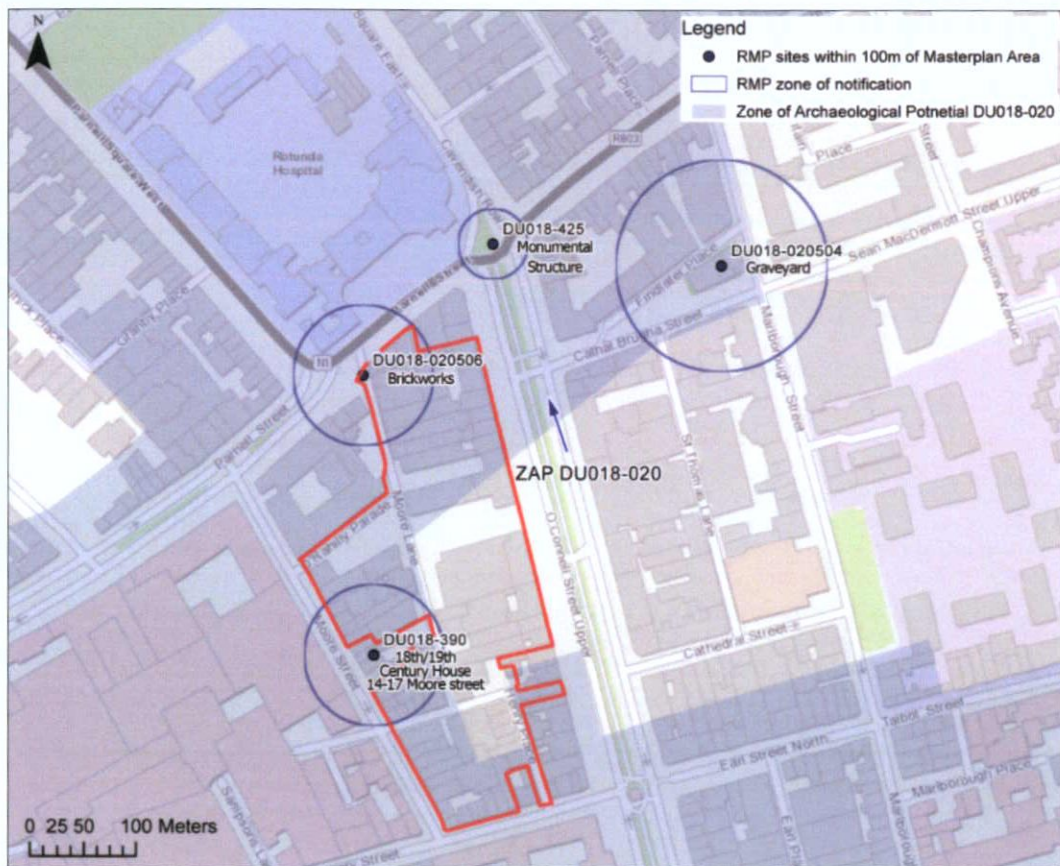


Figure 16.26: RMP site location and Zone of Archaeological Potential for Dublin City and the Dublin Central Masterplan area

RMP/SMR No.	Type	ITM	Location
DU018-020506	Brickworks Site	715670, 734928	Within the Dublin Central Masterplan Area shown at the end of Moore Lane/Parnell Street. Rocque 1756: Old Brick Field. Whilst the site is located in the RMP at the top of Moore Lane Historic sources show that it extended in the urban block bound by Parnell Street, Moore Street Moore Lane and Henry Place. Within Site 5 and 4 of the Dublin Central Masterplan area.

RMP/SMR No.	Type	ITM	Location
DU018-390	House - 18th/19th century house	715680, 734770	Located within the same urban block as the Dublin Central Masterplan Area. As above in the preceding table. Nos. 14, 15, 16 and 17 Moore Street and also includes the rear yards of Nos. 15 and 16 Moore Street and Nos. 8-9 Moore Lane. Between Site 4 of the Dublin Central Masterplan area.

Table 16.2: RMP / SMR Sites within and in the immediate vicinity of the Dublin Central Masterplan Area.

A further two RMP sites are located within 100m of the Dublin Central Masterplan area development boundary (Table 16.3), the Charles Stewart Parnell monument at the intersection of Parnell Street and O'Connell Street and St. Thomas's Church and Graveyard in an area formed by Cathal Brugha Street, Findlater Place and Marlborough Street.

St. Thomas's Church (DU18-020504) was built between 1758 and 1762, was destroyed during the Civil War in 1922 between 1931 and 1932 (Bennett 1991).

RMP/SMR No.	Type	ITM	Location	Distance
DU018-020504	Church and graveyard site	715873, 734995	Cathal Brugha Street, Findlater Place, Marlborough Street.	c. 250m east of the Dublin Central Masterplan area.
DU018-425	Monumental structure	715742, 735004	Parnell Street, O'Connell Street Upper and Cavendish Row	c. 90m northeast of the Dublin Central Masterplan area.

Table 16.3: RMP / SMR Sites within 100m of the Dublin Central Masterplan lands.

16.4.4.3 Zone of Archaeological Potential for Dublin City (DU018-020)

Zones of archaeological potential (ZAP) can be defined as areas within the urban and rural landscape that possess the potential to contain archaeological remains due to the settlement history of a place and or to the presence of topographical features such as rivers, lakes and high, defensible ground.

The Proposed Development is partially within the Zone of Archaeological Potential (ZAP) for Dublin City (DU018-020) (Figure 16.26). The Dublin City Development Plan 2016 – 2022 recognises that the appropriate archaeological strategy for preservation and development can only be determined for each site on the basis of an understanding of the archaeological potential of a site and the archaeological impact of a Proposed Development on that potential.

Any development proposals within a designated ZAP must be subject to pre-planning discussion and it is policy that applications accompanied by an archaeological assessment including where possible archaeological testing.

16.5 CHARACTERISTICS OF PROPOSED DEVELOPMENT

16.5.1 Dublin Central Masterplan

The Dublin Central Masterplan area (c. 2.2 Ha) is bounded by Henry Street to the south, O'Connell Street Upper to the east, Parnell Street and O'Rahilly Parade to the north-east and north-west respectively, and Moore Street to the west. Internally it is subdivided by Moore Lane and Henry Place. It comprises six separate development sites (Sites 1 – 5 in Figure 16.27). Site 2 is subdivided into sub-phases 2AB and 2C.

Site 2AB and 2C will include works associated with the facilitation of a proposed O'Connell Street Metrolink Station. Sites 3, 4 and 5 are located on the western side of the Dublin Central Masterplan area block whilst Site 1, 2AB and 2C are on the eastern side.

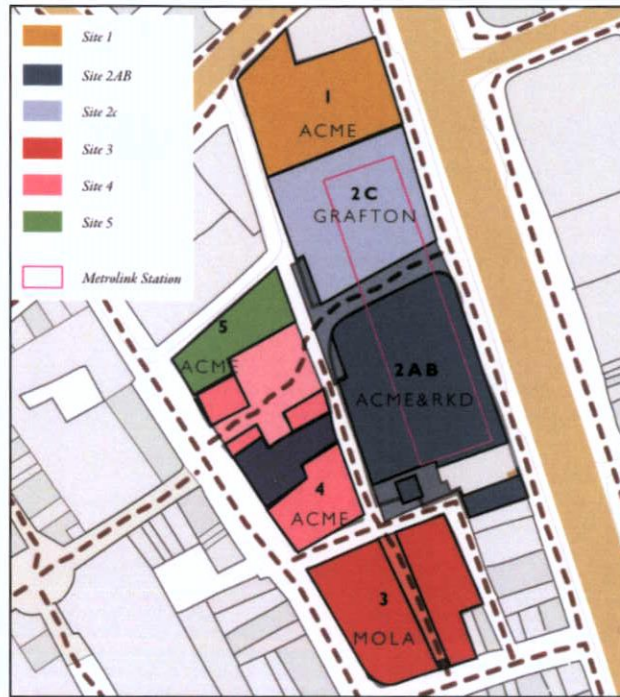


Figure 16.27: Dublin Central Masterplan area with each site indicated.

Each site within the Dublin Central Masterplan area is broadly set out in Table 16.4 below, it and includes a number of protected buildings, protected facades and buildings of historical importance present within the Proposed Development site that will be retained and incorporated into the development (these are assessed and set out in detail in Chapter 15: Cultural Heritage (Architectural)).

Site	Urban block	Heritage Assets to be retained and incorporated
Site 1	Generally bounded by Parnell Street, Moore Lane and O’Connell Street.	<ul style="list-style-type: none"> • 42 O’Connell Street- Protected Structure – retention and refurbishment. • O’Connell Hall – Protected Structure – retention and refurbishment. • 70 Parnell Street – Protected Structure - retention and refurbishment. • 71 Parnell Street – Facade retention.
Site 2 (2AB, & 2C)	Generally bounded by O’Connell Street and Moore Lane.	<p><u>Site 2C</u></p> <ul style="list-style-type: none"> • 43 O’Connell Street – Facade Above Ground Protected Structure – facade retention. • 44 O’Connell Street – Facade Above Ground Protected Structure – facade retention. • 45 O’Connell Street – Facade retention. <p><u>Site 2AB</u></p> <ul style="list-style-type: none"> • 52-54 O’Connell Street facade (Carlton) – Facade Above Ground Protected Structure – facade retention. • 57-58 O’Connell Street facade – Facade Above Ground Protected Structure – facade retention. • Rear boundary wall of 56-58 O’Connell Street – Taken down and rebuilt in a similar manner to existing. • The Reading Room to the rear of 59 O’Connell Street – retention and refurbishment.

Site	Urban block	Heritage Assets to be retained and incorporated
		<ul style="list-style-type: none"> 61 O'Connell Street facade – Facade Above Ground Protected Structure – full retention and refurbishment of the building.
Site 3	Generally bounded by Moore Street and Moore Lane (c. 0.4 Ha). Nos. 36 – 41 Henry Street, Nos. 1 – 9 Moore Street, Nos. 3 – 13 Henry Place (formerly known as Nos. 2 – 13 Henry Place), Clarke's Court and Mulligan's Lane, and also the rear of Nos. 50 – 51, Nos. 52 – 54 and No. 55 Upper O'Connell Street, Dublin 1	<ul style="list-style-type: none"> 8-9 Moore Street – Full retention and refurbishment. 10 Henry Place- Reinterpretation of building as it was in 1916. 11-13 Henry Place – Full retention and refurbishment. 36-37 Henry Street – Full retention and refurbishment. 39-40 Henry Street – Facade retention.
Site 4	Generally bounded by Moore Street and Moore Lane (c. 0.34 Ha). The centre of Site 4 being retained. Site 4 includes Nos. 10 – 13 and Nos. 18 – 21 Moore Street, Nos. 5 – 8 and Nos. 10 – 12 Moore Lane, and also the rear of Nos. 50 – 51, Nos. 52 – 54 and No. 55 Upper O'Connell Street, Dublin 1	<ul style="list-style-type: none"> 10 Moore Street – Full retention and refurbishment 12-13 Moore Street Party Wall – Full retention and refurbishment. 20-21 Moore Street – Full retention and refurbishment. 17-18 Henry Place – Facade retention. 6-7 Moore Lane – Full retention and refurbishment.
Site 5	Generally bounded by Moore Street, O'Rahilly Parade and Moore Lane (c. 0.21 Ha). Site 5 No. 22 – 25 Moore Street, No. 13 Moore Lane and No. 14 Moore Lane (otherwise known as Nos. 1 – 3 O'Rahilly Parade and Nos. 14 – 15 Moore Lane or Nos. 1 – 8 O'Rahilly Parade and Nos. 14 – 15 Moore Lane), Dublin 1.	<ul style="list-style-type: none"> 14 Moore Lane - taken down and material reused within new buildings in Site 4.
Public Realm	Moore Lane, Henry Place and O'Rahilly Parade	<ul style="list-style-type: none"> Setts and kerbs restored and re-laid.

Table 16.4: Application sites within the Dublin Central Masterplan area.

Site 4 is located to the north and south of Nos. 14 – 17 Moore Street (National Monument).

The development is a mixed use development, and includes office, hotel, residential, food and beverage and retail spaces. It is expected that the O'Connell Street Metrolink Station will be proposed below the Site 2 of the Dublin Central development.

The Proposed Development is in an urban area and is almost 100% hardstanding, with no green or planted areas.

16.5.2 Proposed Development – Site 3, 4 & 5

16.5.2.1 Site 3

The Proposed Development comprises a mixed-use scheme (c. 15,842.4 sq. m gross floor area) accommodated in 2no. blocks, ranging in height from 1 – 9 storeys over 2no. new independent single level basements. A proposed new Passageway separates the 2no. blocks (Block 3A & Block 3B), connecting Henry Street and Henry Place (Figure 16.28).

Construction access to Site 3 will be facilitated at the junction of Moore Lane and O'Rahilly Parade (which will require taking down the existing boundary wall of a depot site). The removal of a boundary wall onto Moore Lane at the rear of properties at Nos. 50 – 51 and Nos. 52 – 54 (a protected structure) Upper O'Connell Street is also required to facilitate a layby for construction traffic (Figure 16.28).

Site 3 includes the conservation, repair, refurbishment and adaptive reuse of part of existing building fabric including the retention of Nos. 36 – 37 Henry Street, No. 39 – 40 Henry Street (upper floor façade), Nos. 8 – 9 Moore Street, Nos. 11 – 13 Henry Place with internal and external modifications and new shopfronts. Works to include repair and upgrade works (where required) of existing masonry, external and internal joinery, plasterwork and features of significance. It includes the demolition of all other existing buildings and structures on site.



Figure 16.28: Site 3 site location and Ground floor layout

A full project description for Site 3 is provided in Chapter 3: Description of Proposed Development.

16.5.2.2 Site 4

The Proposed Development comprises a mixed-use scheme accommodating 15no. apartment units, café / restaurant use, retail use, cultural use and office use (c. 3,290 sq. m gross floor area) in 2no. parts located north and south of the Nos. 14 – 17 Moore Street (National Monument/Protected Structures) ranging in height from 1 – 3 storeys including retained independent single storey basements. It also includes the provision of a part of the new public plaza and archway onto new public square (Figure 16.29).

Site 4 includes the conservation, repair, refurbishment and adaptive reuse of part of existing building fabric including the retention of Nos. 20 – 21 Moore Street, No. 10 Moore Street, Nos. 6 – 7 Moore Lane with internal and external modifications and new shopfronts. Works to include repair and upgrade works (where required) of existing masonry, external and internal joinery, plasterwork and features of significance. It includes the demolition of all other existing buildings and structures on site.

In addition, the party wall between Nos. 12/13 Moore Street will be retained, the assessment identified a backfilled creep holes between the terraces which was created during the Rising. The facades of Nos. 17-18 Henry Place (also known as 4-5 Moore Lane) which forms the corner of Moore Lane and Henry Place will also be retained as it forms part of the character of the streetscape. Proposals for the conservation, repair, refurbishment and adaptive reuse of these buildings are provided in Chapter 15: Cultural Heritage (Architectural).

To the north and south of Site 4 is Nos. 14 – 17 Moore Street which are proposed for development by the OPW and the Department of Housing, Local Government and Heritage (DHLGH) under Ministerial Consent C495. The buildings will be developed as an commemorative centre that will provide for a visitor experience that will engage with the events of 1916 and provide a greater understanding of the building fabric and significance of the monument. An extension to the National Monument on the northern side, No.18a, is proposed for ancillary use to the monument is included in the Site 4 application (Figure 16.29). This is owned by the (DHLGH) and has already received Ministerial Consent. The extension to the National Monument within No. 17 Moore Street is not included in the Dublin Central Masterplan but will be subject to a separate application made by the DHLGH.

Construction access to Site 4 will be facilitated at the junction of Moore Lane and O’Rahilly Parade (which will require taking down the existing boundary wall of a depot site). The removal of a boundary wall onto Moore Lane at the rear of properties at Nos. 50 – 51 and Nos. 52 – 54 (a protected structure) Upper O’Connell Street is also required to facilitate a layby for construction traffic (Figure 16.29).



Figure 16.29: Site 4 site location and Ground floor Plan and Plaza

A full project description of Site 4 is provided in Chapter 3: Description of Proposed Development.

16.5.2.3 Site 5

Site 5 comprises a mixed-use scheme in a single building (c. 6,478 sq. m gross floor area) ranging in height from 2 – 6 storeys (top floor set back) over single storey localised basement. The building includes office space from 1st to 5th floor with office lobby at ground floor level, with 3no. terraces at 2nd, 3rd and 5th floor respectively and 3no. licenced restaurant / café units with takeaway / collection facility at ground floor, together with provision of a ‘delivery hub’ unit at ground floor level (c. 46 sq. m). Provision of part of a new public plaza (168 sq. m) and associated temporary works pending completion of the combined plaza with the concurrent planning application for the adjoining Site 4 immediately to the south (Figure 16.30).

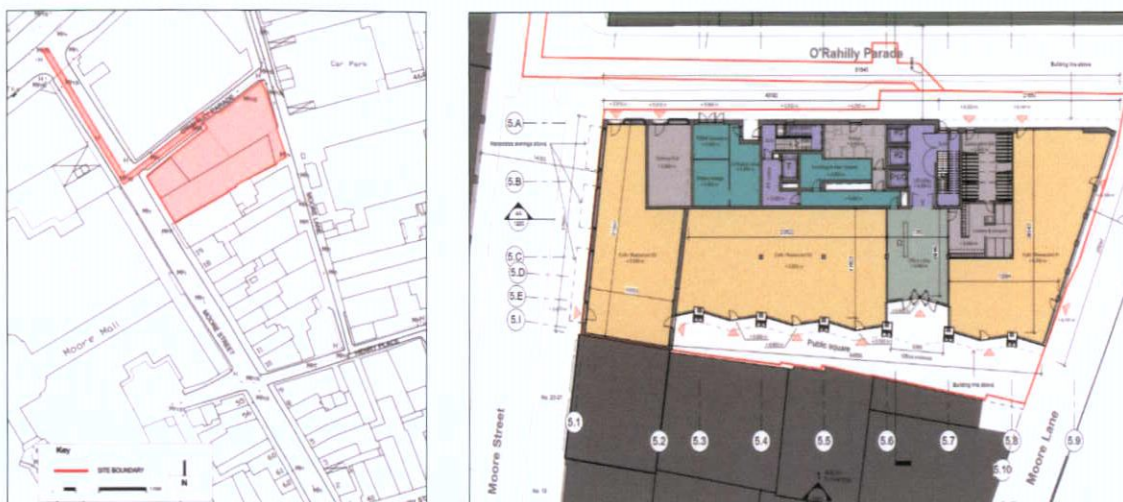


Figure 16.30: Site 5, site location and Ground floor Plan

A full project description of Site 5 is provided in Chapter 3: Description of Proposed Development.

16.6 POTENTIAL IMPACTS

16.6.1 Dublin Central Masterplan

16.6.1.1 Construction Stage

16.6.1.1.1 Introduction

The archaeological assessment through the review of previous excavations, of designated sites and of written and cartographic sources has assisted in clarifying the nature, location and significance of the archaeological remains that are likely to be encountered within the Dublin Central Masterplan area. It has facilitated the confident assessment of the potential impact of the scheme on the archaeological resource.

16.6.1.1.2 Impacts to National Monument – Nos. 14 – 17 Moore Street

There will be a potential impact on the National Monument PO boundary where its boundaries are shared with Site 4. Proposed works in proximity to the National Monument¹, will include those associated with the demolition of existing buildings at Nos. 18 and 19 Moore Street back to Moore Lane (Nos. 10 – 11 Moore Lane), No. 13 Moore Street and its rear yard, and the retention works associated with Nos. 6 – 7 Moore Lane. The assessment of the potential impact on the structures are described in Chapter 15: Cultural Heritage (Architectural).

From an archaeological perspective there is a potential that demolition of the adjacent structures or earthmoving works might reveal material remains associated with the 1916 Easter Rising, for example, guns or other munitions buried or otherwise concealed around the monument or backfilled into cellars in areas that are not currently visible or accessible. The discovery of such material would add to our knowledge of the battle and would ultimately form part of the national collection and interpretation of the site.

¹ An area defined by the National Monuments Service around the National Monument to allow an assessment to be compiled of the potential impact of proposed works in proximity to the National Monument. The envelope of buildings that form this area comprise Nos 13, 18 and 19, as far east as and including the Moore Lane frontage (that includes Nos. 6 – 7 Moore Lane to the rear of No. 13 Moore Street).

Site preparation, enabling and earthmoving works in the vicinity of the national monument has the potential to impact on below ground in-situ archaeological remains predating both the Georgian terrace and the development of the urban block. Test excavation of archaeological deposits in proximity to and within the National Monument, has revealed infill organic deposits up to 2m in depth which are consistent with the recorded archaeological profiles found in this area of the ZAP for the Historic City of Dublin (see section 16.4.2.2). This material, though of archaeological interest will not be critical to our understanding of the 1916 Easter Rising event, and the significance attached to the buildings on Moore Street (Nos. 14 – 17). The findings will enhance our knowledge of the eastern development of the city in the 18th century.

The historic identity and layout of the streetscape is at the heart of the public realm plans for the Dublin Central Masterplan area. It acknowledges that Moore Street, Moore Lane, Henry Place and O’Rahilly Parade are a significant aspect of the historic character of the area, contributing to the legibility of the events of the last movements of the rebels before their retreat to Nos. 14 – 17 Moore Street from the GPO. The development of the Dublin Central Masterplan area preserves the grid of laneways within the block and as such the key views that support the interpretation of the 1916 events i.e., the existing sight lines along Moore Lane and the lack thereof along Henry Place. In addition, based on a full understanding of the historic fabric of the structures facing the lanes the Proposed Development will retain structures of historic interest (i.e., No. 10 Moore Street, Nos. 20 – 21 Moore Street, Nos. 6 – 8 Moore Lane and No. 17 Moore Lane). The historic granite sets and stone sett pavements on O’Rahilly Parade and Moore Lane will be recorded in-situ, lifted and re-laid in suitable locations along the laneway (see Chapter 15: Cultural Heritage (Architectural)).

The retention of these historic elements will have an overall positive effect on the National Monument and its future use as a commemorative centre (Chapter 15: Cultural Heritage – (Architectural)). They will enhance the experience of the public realm and will assist in the legibility of, and public access to, the 1916 Easter Rising events and how they unfolded, thus reinforcing the interpretation and experience of the National Monument.

16.6.1.1.3 Impact on Archaeological Potential

The Dublin Central Masterplan area is located in the ZAP for the historic city of Dublin (RMP DU018-020). This is a zone of high archaeological potential relating to the development of the city since the earliest of times.

Despite the intensive development of the Dublin Central Masterplan area during the 18th to 20th centuries, which may have truncated or removed entirely the archaeology in its wake, the assessment has revealed the possibility for earthmoving works in this part of the city to encounter archaeological sites, soils or features associated with the following: -

- **Early Medieval and Medieval Potential**
 - The findspots of scattered burials associated with a Viking cemetery site (DU018-020495) is concentrated on the northern side of Parnell Street. The Viking burials have been found at 3.50m below present ground level in subsoil. Topographically the burial site is likely to have taken advantage of a high ridge overlooking the former Liffey estuary and a major routeway that ran along Parnell Street. The excavation of two large sites south of Parnell Street and north of O’Rahilly Parade adjacent to the Dublin Central Masterplan area did not identify any human remains.
 - The site lies outside the walled precinct of St. Mary’s Abbey, which in medieval times dominated the eastern lands of the northern suburb of the historic core. It is considered unlikely given the distance from the walled precinct that any structural remains associated with the abbey would be identified in the Dublin Central Masterplan area. Should features survive it is likely to be in the form of medieval cultivated soils and/or agricultural features, such as ditches, and boundaries.

There may be undisturbed clays to the rear of the properties in the block, which do not have cellars / basements. These are depicted as open yards in Rocque's 1756 and Scale's 1773 maps, it is in these locations were the highest potential lies to reveal these remains should they be present.

- **Post Medieval Potential**

- There is a significant potential that features associated with the 18th century 'site of' a brickworks (DU018-020506) might be encountered during the earthmoving works. Cartographic sources suggest that the brickfield was located in the area defined by Moore Lane, Moore Street and Henry Place, however archaeological evidence suggests that it might extend to O'Connell Street. In addition to this, the former brickfield quarry pit was backfilled in the 18th century with up to 2m of reclamation deposits representing domestic refuse from the city, this infill material was mostly organic but also contained ceramics, glass and metal. It is likely that such infill material will be identified in Sites 4 and 5 as they are located within the brickfield site defined on Rocque's maps.
- Basements or complex of house foundations, walls, vaults, drains, cobbled surfaces, and other features dating from the early 18th century and later should be anticipated for the Proposed Development. They are likely to extend across the entire Dublin Central Masterplan area.

Ground-breaking works within the ZAP will result in a direct impact on any features that may survive below ground. The as yet undiscovered archaeological features in the ZAP are of Medium sensitivity value, and the magnitude of the impact is Medium. This would result in a potentially **Negative, Moderate** and **Permanent** impact on any previously unknown archaeological sites or features which may survive below ground.

The 'Outline Construction & Demolition Management Plan - Master Plan', prepared by Waterman Moylan is provided in Appendix 3.1 of the EIAR.

16.6.1.2 Operational Stage

There is no likely or significant predicted impact on the archaeological resource during the operational stage of the project. All physical archaeological impact issues will be resolved at the pre-construction stage of the development and therefore **no potential impacts** are envisioned at the operation stage of the development.

16.6.1.3 Do-Nothing Impact

In the "do-nothing" scenario the Dublin Central Masterplan area would not be redeveloped and therefore there would be no adverse impacts to any as yet undiscovered subsurface archaeological deposits, features or finds. Under the do-nothing scenario, any archaeological features that lie below the existing ground level will remain in-situ. Any information that might enhance our understanding of the eastern development of the city in the early post medieval and post medieval period will remain unknown.

16.6.2 Proposed Development – Site 3, 4 & 5

16.6.2.1 Construction Stage

16.6.2.2 Site 3

16.6.2.2.1 National Monuments

There are no National Monuments or sites under Preservation Order in the vicinity of Site 3. Nos. 14 – 17 Moore Street is located c. 30m north of the site and will not be impacted by the development of this block.

Approximately 9m from the rear wall of the National Monument it is proposed to demolish the boundary wall to the rear of Nos. 50 – 51 and Nos. 52 – 54 (a protected structure) Upper O'Connell Street (on Moore Lane) to facilitate construction access to the Site 3.

The assessment of the potential impact on the physical fabric of the structures are described in Chapter 15: Cultural Heritage (Architectural).

Part of the evacuation route from the GPO during the 1916 Easter Rising was enacted on Henry Place which bounds Site 3 to the north and east. A detailed account of this is provided in Chapter 15: Cultural Heritage (Architectural), which examines the battlefield and its relationship to the historic structures. The lanes will be retained in the overall Dublin Central Masterplan area and as such the key views that support the interpretation of the 1916 events i.e., the existing sight lines along Moore Lane and the lack thereof along Henry Place. In addition, Nos. 8 – 9 Moore Street (a late 18th Century Structure), and Nos. 11 – 13 Henry Place to the rear will be retained and the footprint of the former 'White Building' will be retained. This, alongside the retention of No. 10 Moore Street and the building envelope of 17 – 18 Henry Place on the northern side of the lane (in Site 4), will ensure that the evacuation route remains legible in the public realm.

The retention of these historic elements will have an overall positive effect on the National Monument and its future use as a commemorative centre. They will enhance the experience of the public realm and will assist in the legibility of the 1916 events and how they unfolded, thus reinforcing the interpretation and experience of the National Monument.

16.6.2.2.2 Recorded Archaeological Monuments

There are no specific recorded sites (RMP / SMR sites) within the boundary of the site or in its immediate vicinity.

16.6.2.2.3 Zone of Archaeological Potential for Dublin City (RMP DU018-020)

Dublin Central Site 3 lies within the designated ZAP for the historic city of Dublin (RMP DU018-020). This is a zone of high archaeological potential relating to the development of the city since the earliest of times. There is the potential that previously unknown archaeological sites or features may survive below ground within this zone.

Based on the information gathered to date from archaeological research, cartographic sources and previous excavations, the archaeological potential of Site 3 is characterised by the following: -

- **Early Medieval and Medieval Potential**
 - The findspots of scattered burials associated with a Viking cemetery site (DU018-020495) is concentrated on the northern side of Parnell Street. Topographically the burial site is likely to have taken advantage of a high ridge overlooking the former Liffey estuary and a major established routeway that ran along Parnell Street. Given the distance from Site 3 and its closer proximity to the original Liffey shoreline it is considered improbable that Viking remains would be identified within Site 3.
 - The site lies outside the walled precinct of St. Mary's Abbey, which in medieval times dominated the eastern lands of the northern suburb of the historic core. It is considered unlikely given the distance from the walled precinct that any structural remains associated with the abbey would be identified in Site 3. Should features survive it is likely to be in the form of medieval cultivated soils and / or agricultural features, such as ditches, and boundaries.

There may be undisturbed clays to the rear of the properties in the block, which do not have cellars/basements. These are depicted as open yards in Rocque's 1756 map (Figure 16.9), it is in these locations where the highest potential lies to reveal in-situ remains, though some cellars may not be so deep as to have removed all soils to the natural subsoil level.

- **Post Medieval Potential**

Based on the excavations in this part of the city features that are likely to be encountered within Site 3 include the following: -

- There is a potential that the brickfield site (RMP DU018- 020506) shown on Rocque's Map (ibid) may extend beyond the area defined by Parnell Street, Moore Street, Moore Lane and Henry Place into Site 3. Excavation has shown that it potentially may have extended as far east as O'Connell Street.
- Early basements or complex of house foundations, walls, vaults, drains, cobbled surfaces, and other features dating to the early 18th century and later should be anticipated for the Proposed Development.
- There are areas of the site that have existing basement, where underlying deposits are likely to have been removed (Figure 16.31). However, these basements may have incorporated earlier 18th century fabric.
- The existing basements associated with 8-9 Moore Street, 11-13 Henry Place and of 36, 37 Henry Street will be retained as part of the development; and the basements on the Henry Street frontage will be backfilled (Figure 16.31).

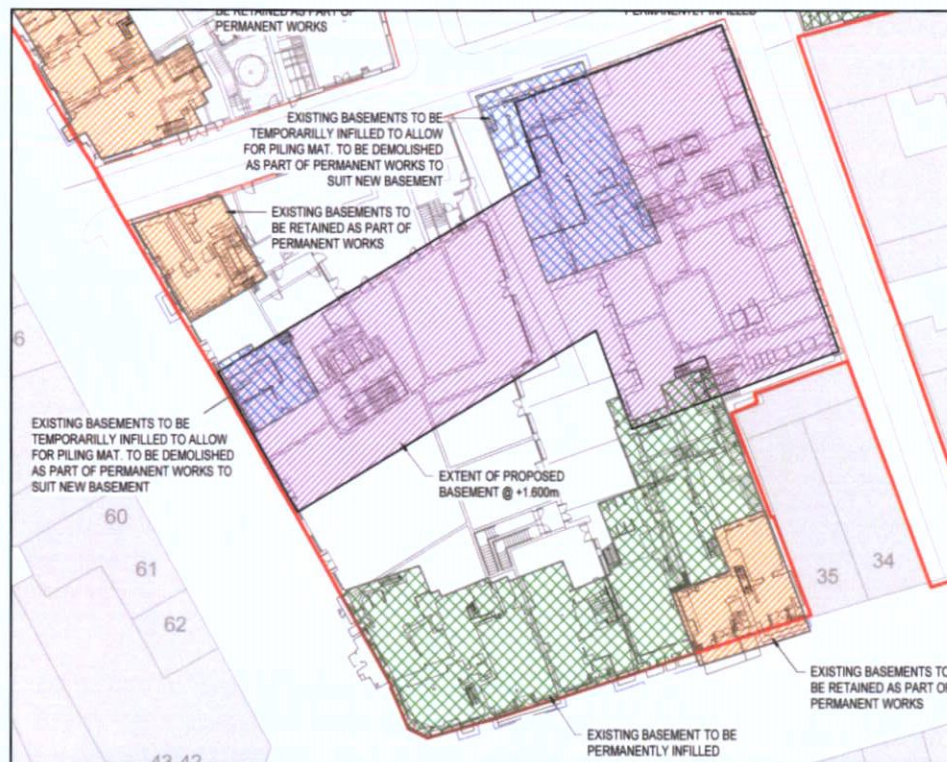


Figure 16.31: Site 3, Basements to be retained (orange), permanently infilled (green) and temporary infilled in advance of piling for new basement (blue), extent of the proposed basement (pink).

Site 3, Basement and Substructure Design

There is a proposed single storey basement to house plant across the northern half of the site (Figure 16.32). The basement will be constructed within a 600mm diameter secant pile wall. The excavation material will generally be made ground down to circa 5m below ground level then Alluvium (Sandy Gravel). The top of the piled wall will be tied together with a 1050x1000mm reinforced concrete capping beam which will allow the transfer of vertical frame and floor loads onto the piles.

The Proposed Development will be supported on piled foundations comprising traditional non-displacement rotary bored piles. Based on the ground conditions identified and the building frame loads, 3 piles are used per column, 1200mm deep pile caps will be used above the piles to support the columns over (Figure 16.32).

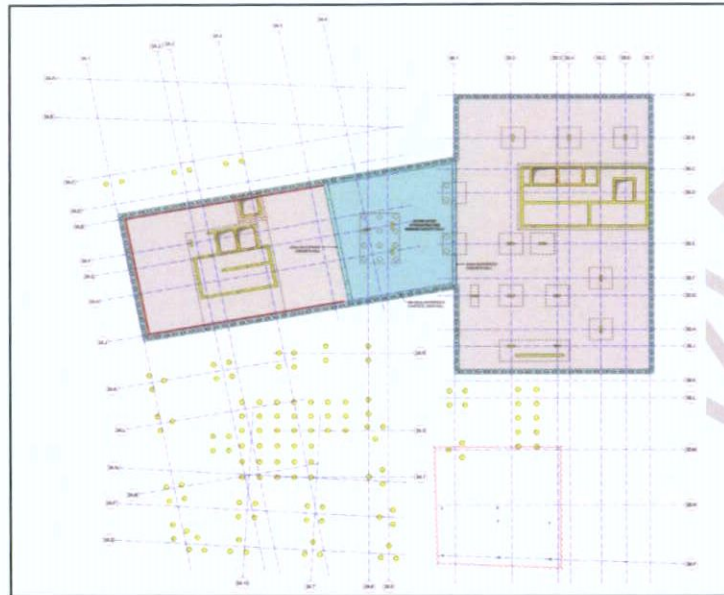


Figure 16.32: The proposed basement and pile foundation layout and attenuation tank (in blue).

There will be a direct impact on any subsurface archaeological features that might be encountered during earthmoving within Site 3. The predicted impact of the construction phase on potential intact archaeological remains will be negative. The as yet undiscovered archaeological features within the ZAP are of medium sensitivity value and the magnitude of the impact is medium resulting in an overall **moderate** and **permanent impact** on the archaeological resource which may survive below ground.

The 'Outline Construction & Demolition Management Plan – Site 3', prepared by Waterman Moylan is provided in Appendix 3.2 of the EIAR.

16.6.2.3 Site 4

16.6.2.3.1 Impacts to National Monument – Nos. 14 – 17 Moore Street

There will be a potential impact on the National Monument Preservation Order boundary where its boundaries are shared with Site 4. Proposed works in proximity to the National Monument will include those associated with the demolition of existing buildings at Nos. 18 and 19 Moore Street back to Moore Lane (Nos. 10 – 11 Moore lane), No. 13 Moore Street and its rear yard, and the retention works associated with Nos. 6 – 7 Moore Lane. Approximately 9m from the rear wall of the National Monument it is proposed to demolish the boundary wall to the rear of Nos. 50 – 51 and Nos. 52 – 54 (a protected structure) Upper O'Connell Street (on Moore Lane) to facilitate construction access to the Site 3.

The assessment of the potential impact on the physical fabric of the structures are described in Chapter 15: Cultural Heritage (Architectural).

The foundation and substructure strategy has been developed considering the age and condition of the existing structures that are proposed to be retained in and around the Site 4 development, and with particular care and consideration to the boundaries with the National Monument. Mini bored piles are proposed as an efficient solution due to the low loads from the structures above, whilst ensuring a low risk to surrounding structures (Figure 16.34).

Appropriate protective measures such as development phasing, further investigation, temporary works (if required) and a vibration monitoring strategy embedded into the construction and management plan, will be put in place during demolition and construction phases of the development as outlined in the accompanying Chapter 15: Cultural Heritage (Architectural). Such measures will ensure that there is no inadvertent damage to the monument.

From an archaeological perspective there is a potential that demolition of the adjacent structures or earthmoving works might reveal material remains associated with the 1916 Easter Rising, for example, guns or other munitions buried or otherwise concealed around the monument or backfilled into cellars in areas that are not currently visible or accessible. The discovery of such material would add to our knowledge of the battle and would ultimately form part of the national collection and interpretation of the site.

Site preparation, enabling and earthmoving works in the vicinity of the National Monument has the potential to impact on below ground in-situ archaeological remains predating both the Georgian terrace and the development of the urban block. Test excavation of archaeological deposits in proximity to and within the National Monument, has revealed infill organic deposits up to 2m in depth which are consistent with the recorded archaeological profiles found in this area of the ZAP for the Historic City of Dublin (see section 16.4.2.2). This material, though of archaeological interest will not be critical to our understanding of the 1916 Easter Rising event, and the significance attached to the buildings on Moore Street (Nos. 14 – 17). The findings will however enhance our knowledge of the eastern development of the city in the 18th century.

The historic identity and layout of the streetscape is at the heart of the public realm plans for the Dublin Central Masterplan area. It acknowledges that Moore Street, Moore Lane, Henry Place and O'Rahilly Parade are a significant aspect of the historic character of the area, contributing to the legibility of the events of the last movements of the rebels before their retreat to Nos. 14 – 17 Moore Street from the GPO. The development of the Dublin Central Masterplan area preserves the grid of laneways within the block and as such the key views that support the interpretation of the 1916 events i.e., the existing sight lines along Moore Lane and the lack thereof along Henry Place. In addition, based on a full understanding of the historic fabric of the structures facing the lanes the Proposed Development will retain structures of historic interest (i.e. No. 10 Moore Street, Nos. 20 – 21 Moore Street, Nos. 6 – 7 Moore Lane and No. 17 Moore Lane). The facades of 17-18 Henry Place (also known as 4-5 Moore Lane) which forms the corner of Moore Lane and Henry Place will be retained in Site 4. In addition, the party wall between 12/13 Moore Street will be retained, preserving the backfilled creep hole between the terraces created during the 1916 Easter Rising. The retention of these structures is outlined in detail in Chapter 15: Cultural Heritage (Architectural).

The historic granite sets and stone sett pavements on O'Rahilly Parade and Moore Lane will be recorded in-situ, reworked and re-laid in suitable locations along the laneway under the Dublin Central Masterplan. These works do not form part of Sites 3, 4 and 5.

The retention of these historic elements will have an overall positive effect on the National Monument and its future use as a commemorative centre. They will enhance the experience of the public realm and will assist in the legibility of, and public access to, the 1916 Easter Rising events and how they unfolded, thus reinforcing the interpretation and experience of the National Monument.

16.6.2.3.2 Impact on Archaeological Potential

Dublin Central Site 4 lies within the designated ZAP for the historic city of Dublin (RMP DU018-020). This is a zone of high archaeological potential relating to the development of the city since the earliest of times. There is the potential that previously unknown archaeological sites or features may survive below ground within this zone.

Based on the information gathered to date from archaeological research, cartographic sources and previous excavations, the archaeological potential of Site 4 is characterised by the following: -

DCC PLAN NO 2862/21
RECEIVED: 01/06/2021

- **Early Medieval and Medieval Potential**

- The findspots of scattered burials associated with a Viking cemetery site (DU018-020495) is concentrated on the northern side of Parnell Street. The Viking burials have been found at 3.50m below present ground level in subsoil. Topographically the burial site is likely to have taken advantage of a high ridge overlooking the former Liffey estuary and a major routeway that ran along Parnell Street. The excavation of two large sites south of Parnell Street and north of O'Rahilly Parade adjacent to the Dublin Central Masterplan area did not identify any human remains.
- The site lies outside the walled precinct of St. Mary's Abbey, which in medieval times dominated the eastern lands of the northern suburb of the historic core. It is considered unlikely given the distance from the walled precinct that any structural remains associated with the abbey would be identified in the Dublin Central Masterplan area. Should features survive it is likely to be in the form of medieval cultivated soils and/or agricultural features, such as ditches, and boundaries.

Site 4 is located within a former quarry associated with a brickworks. It is likely that any archaeology that may have been located in this area dating to the early Medieval/ Medieval period (such as agricultural features or isolated human remains) was removed sometime in the 18th century as part of the brickworks. There is a significant archaeological potential for Site 4 to reveal brickfield levels, brickfield quarry infill and 18th century structural remains: -

- **Post Medieval Potential**

There is a significant archaeological potential for Site 4 to reveal brickfield levels, brickfield quarry infill and 18th century structural remains: -

- The RMP places the 'site of' a brickworks (DU018-020506) at the junction of Parnell Street and Moore Lane c.125m to the north. Cartographic sources however indicate that the brickfield was located in the area defined by Moore Lane, Moore Street and Henry Place and extended into Site 4. There is a significant potential that features associated with the 18th century 'site of' a brickworks (DU018-020506) might be encountered during the earthmoving works.
- Unlike the area to the north of O'Rahilly Parade the results of archaeological investigations in Nos. 14 – 17 Moore Street indicate that the area of the former brickfield quarry pit was backfilled in the 18th century to build up the ground for construction. Evidence has shown that part of the former brickfield quarry pit was backfilled in the 18th century with up to 2m of reclamation deposits representing domestic refuse from the city, this infill material was mostly organic but also contained ceramics, glass and metal. It is likely that this is the case other areas within Site 4.
- Basements or complex of house foundations, walls, vaults, drains, cobbled surfaces, and other features dating from the early 18th century and later should be anticipated for the Proposed Development. They are likely to extend across the entire site.

The northern half of Site 4 may be free of cellars / basements where there are open yards in cartographic sources (Scalé's Map of 1773, Figure 16.12) and there may be undisturbed clays. It is in these locations where the greatest potential lies to reveal in-situ features should they be present.

Site 4, Basements and Substructure Design

There are existing basements beneath No's 10 to 13 and between Nos 6-7 Moore Lane which may have removed or truncated any in-situ archaeological sites or features (Figure 16.33). There is also a potential that a basement is present beneath No. 18 Moore Street.

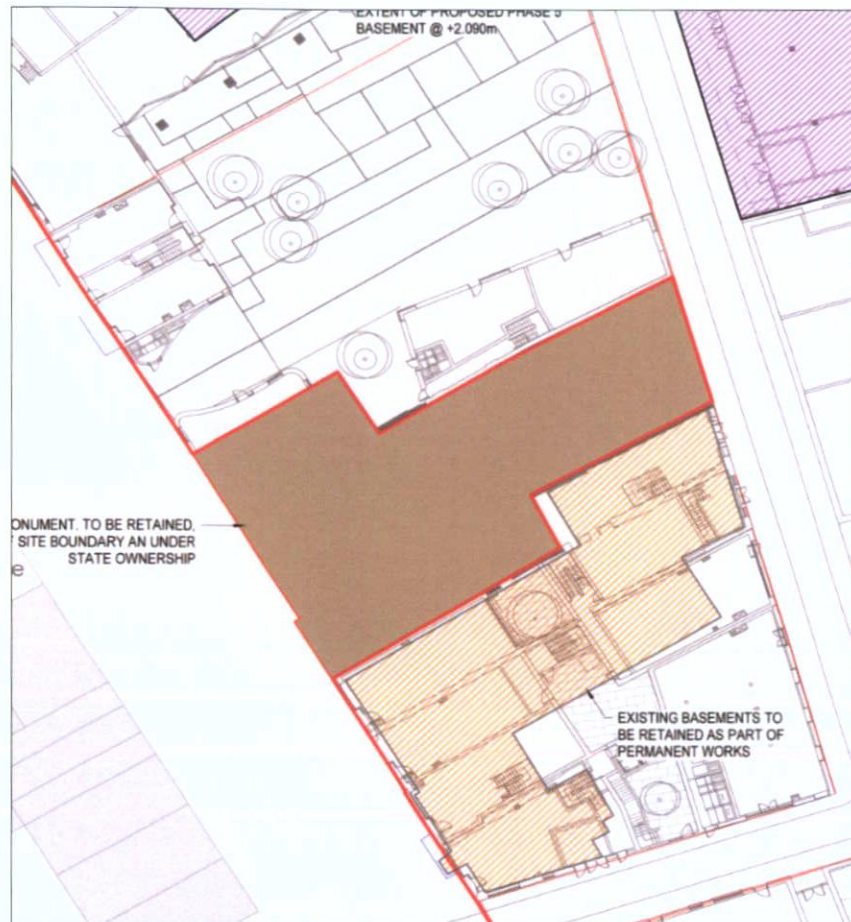


Figure 16.33: Existing basement being retained as part of the permanent works.

New basements in the Proposed Development are minimised and will be in the location of the existing basements (Figure 16.34, Figure 16.35, Figure 16.36). They will be used to house plant for the residential and retail units above and remove the requirement for area above ground to be allocated to plant. The existing basement at No. 5a Moore Lane (also known as 15-16 Henry Place), adjacent to the retained No. 6-7 basement, is to be infilled to provide the new ground level. Beneath the retained buildings at No. 10 Moore Street and No. 6-7 Moore Lane the basements are to be retained and used for residential storage and a café/restaurant respectively. The retail unit at No. 11 Moore Street will also have an accessible basement for use with the retail store.

Site 4 requires 124m³ of attenuation through the combination of blue roofs and an attenuation tank. The tank is to be constructed from 300mm thick concrete walls and slab and positioned below ground. A lift pit will also be required lift will be constructed from the basement slab on the higher level of the attenuation tank (Figure 16.34).

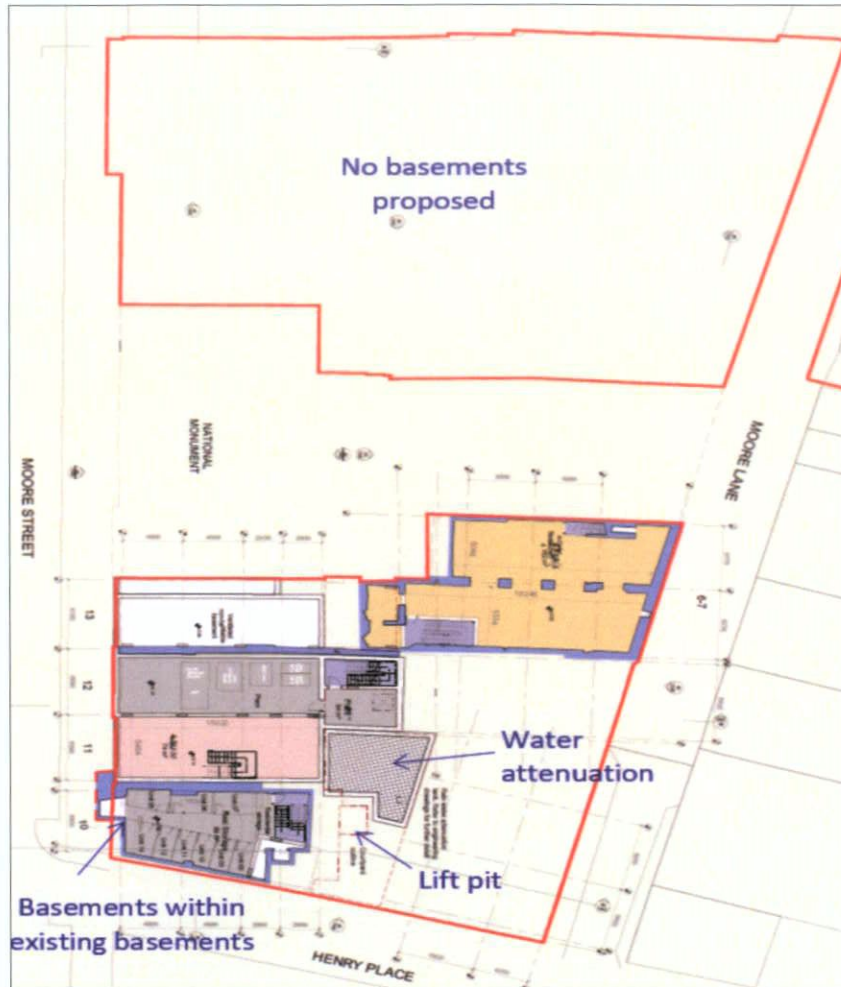


Figure 16.34: Site 4, proposed basement slabs, walls and columns (blue shows existing fabric).

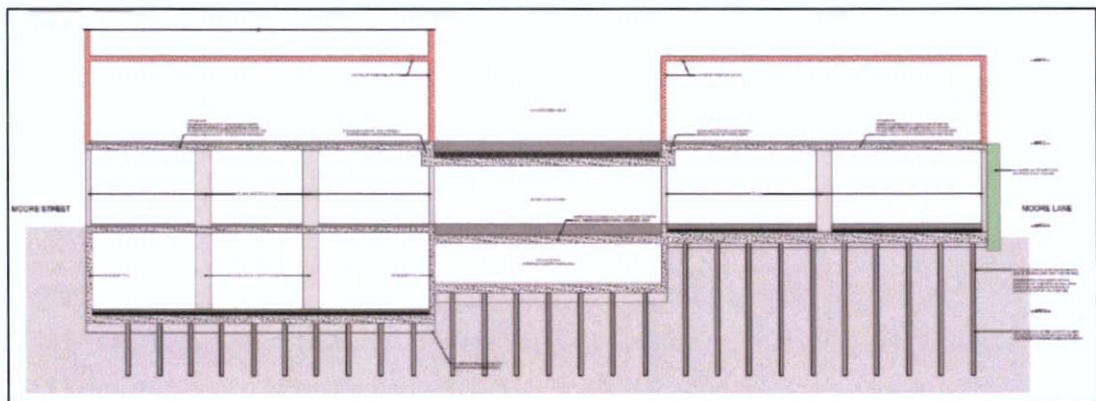


Figure 16.35: Section through Site 4 (Moore Street to Moore Lane) showing mini pile foundation strategy and basement levels.

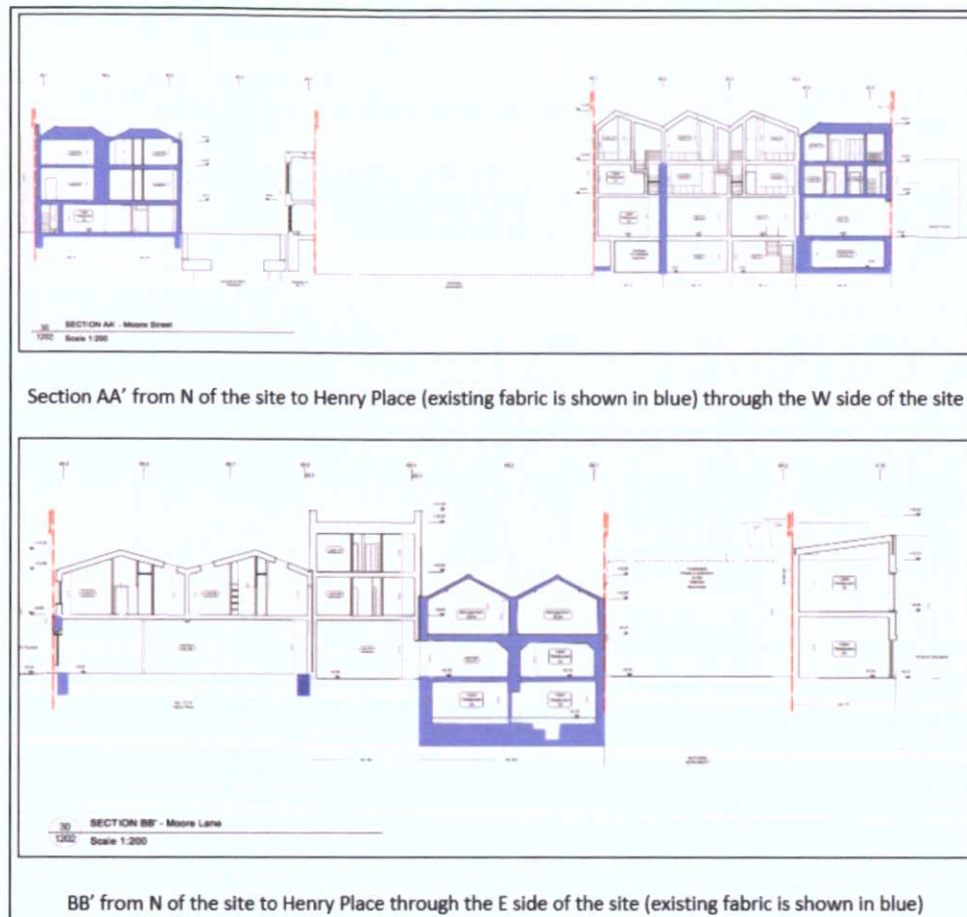


Figure 16.36: Typical cross sections across Site 4.

There will be a direct impact on any subsurface archaeological features that might be encountered during earthmoving works within Site 4. The predicted impact of the construction phase on potential intact archaeological remains will be Negative. The as yet undiscovered archaeological features within the ZAP are of Medium sensitivity value and the magnitude of the impact is medium resulting in an overall **moderate** and **permanent impact** on the archaeological resource which may survive below ground.

The 'Outline Construction & Demolition Management Plan – Site 4', prepared by Waterman Moylan is provided in Appendix 3.3 of the EIAR.

16.6.2.4 Site 5

16.6.2.4.1 National Monument

Site 5 is located to the north of the National Monument of Nos. 14 – 17 Moore Street (located c.20m from No. 17 Moore Street and to 31m to No. 9 Moore Lane). The development will have no impact on the properties.

O'Rahilly Parade, previously named Sackville Place bounds Site 5 to the north. It was renamed after Michael Joseph O'Rahilly. 'The O'Rahilly', as he was known, was shot down close to the corner of Sackville Lane as he tried to take Moore Street. The historic identity and layout of the streetscape is at the heart of the public realm plans for the Dublin Central Masterplan area. It acknowledges that Moore Street, Moore Lane, Henry Place and O'Rahilly Parade are a significant aspect of the historic character of the area, contributing to the legibility of the events of the last movements of the rebels before their retreat to 14–17 Moore Street from the GPO.

The implementation of the Dublin Central Masterplan area preserves the grid of laneways within the block and as such the key views that support the interpretation of the 1916 Easter Rising events i.e., the existing sight lines along Moore Lane and the lack thereof along Henry Place. A detailed account of this is provided in Chapter 15: (Cultural Heritage (Architectural)) which examines the 1916 battle site and its relationship to the historic structures.

The retention of these historic elements will have an overall positive effect on the National Monument and its future use as a commemorative centre. They will enhance the experience of the public realm and will assist in the legibility of the 1916 events and how they unfolded, thus reinforcing the interpretation and experience of the National Monument.

16.6.2.4.2 Impact on Archaeological Potential

Dublin Central Site 5 lies within the designated ZAP for the historic city of Dublin (RMP DU018-020). This is a zone of high archaeological potential relating to the development of the city since the earliest of times. There is the potential that previously unknown archaeological sites or features may survive below ground within this zone.

Based on the information gathered to date from archaeological research, cartographic sources and previous excavations, the archaeological potential of Site 5 is characterised by the following: -

- **Early Medieval and Medieval Potential**

- The findspots of scattered burials associated with a Viking cemetery site (DU018-020495) is concentrated on the northern side of Parnell Street. The Viking burials have been found at 3.50m below present ground level in subsoil. Topographically the burial site is likely to have taken advantage of a high ridge overlooking the former Liffey estuary and a major routeway that ran along Parnell Street. No such finds have been recorded to the south of Parnell Street. The excavation of two large sites south of Parnell Street and north of O'Rahilly Parade adjacent to the Dublin Central Masterplan area did not identify any human remains.
- The site lies outside the walled precinct of St. Mary's Abbey, which in medieval times dominated the eastern lands of the northern suburb of the historic core. It is considered unlikely given the distance from the walled precinct that any structural remains associated with the abbey would be identified in the Dublin Central Masterplan area. Should features survive it is likely to be in the form of medieval cultivated soils and / or agricultural features, such as ditches, and boundaries.

Site 5 is located within a former quarry associated with a brickworks. It is likely that any archaeology that may have been located in this area dating to the early Medieval / Medieval period (such as agricultural features or isolated human remains) was removed sometime in the 18th century as part of the brickworks.

- **Post Medieval Potential**

There is a significant archaeological potential for Site 5 to reveal brickfield levels, brickfield quarry infill and 18th century structural remains: -

- The RMP places the 'site of' a Brickworks (DU018-020506) at the junction of Parnell Street and Moore Lane c. 125m to the north. Cartographic sources however indicate that the brickfield was located in the area defined by Moore Lane, Moore Street and Henry Place and extended into Site 5. There is a significant potential that features associated with the 18th century 'site of' a brickworks (DU018-020506) might be encountered during the earthmoving works.

- Unlike the area to the north of O’Rahilly Parade the results of archaeological investigations in Nos. 14 – 17 Moore Street indicate that the area of the former brickfield quarry pit was backfilled in the 18th century to build up the ground for construction. Evidence has shown that part of the former brickfield quarry pit was backfilled in the 18th century with up to 2m of reclamation deposits representing domestic refuse from the city, this infill material was mostly organic but also contained ceramics, glass and metal. It is likely that this is the case other areas within Site 5.
- Basements or complex of house foundations, walls, vaults, drains, cobbled surfaces, and other features dating from the early 18th century and later should be anticipated for the Proposed Development. They are likely to extend across the entire site.

Site 5, Basement and Substructure Design

There is an existing basement beneath No. 22 and 23 Moore Street which extends to No. 13 Moore Lane (Figure 16.37), this basement will be permanently infilled as part of the Proposed Development.

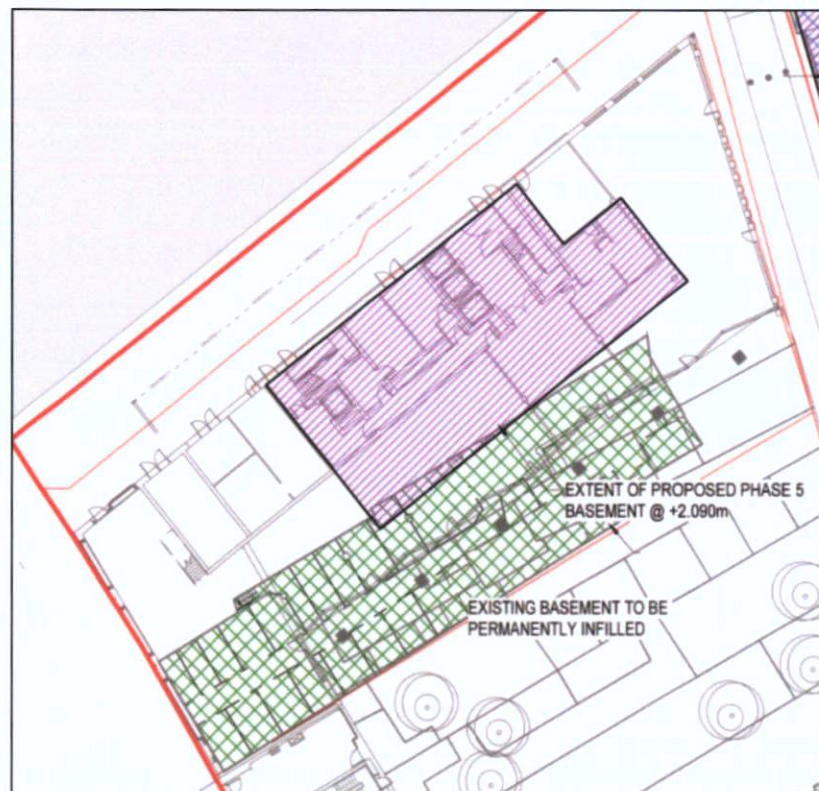


Figure 16.37: Existing basement beneath No. 22 and 23 Moore Street backfilled permanently (green) and proposed basement (pink) in Site 5.

A basement will be required for plant in Site 5, it will be housed in a new single storey basement level (Figure 16.38). The basement will be constructed within a 600mm diameter secant pile wall. The excavation material will generally be made ground (likely to include c.2m of the backfilled brickfield quarry material) down to circa 5m below ground level then Alluvium (Sandy Gravel).

The top of the piled wall will be tied together with a 1050x1000mm reinforced concrete capping beam which will allow the transfer of vertical frame and floor loads onto the piles.

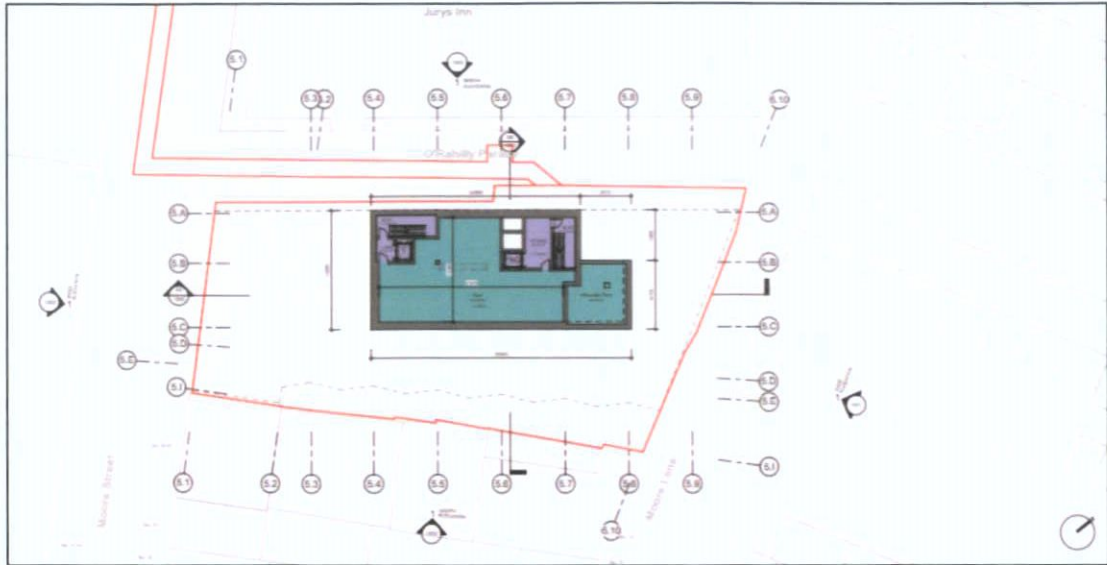


Figure 16.38: Detail of the proposed basement.

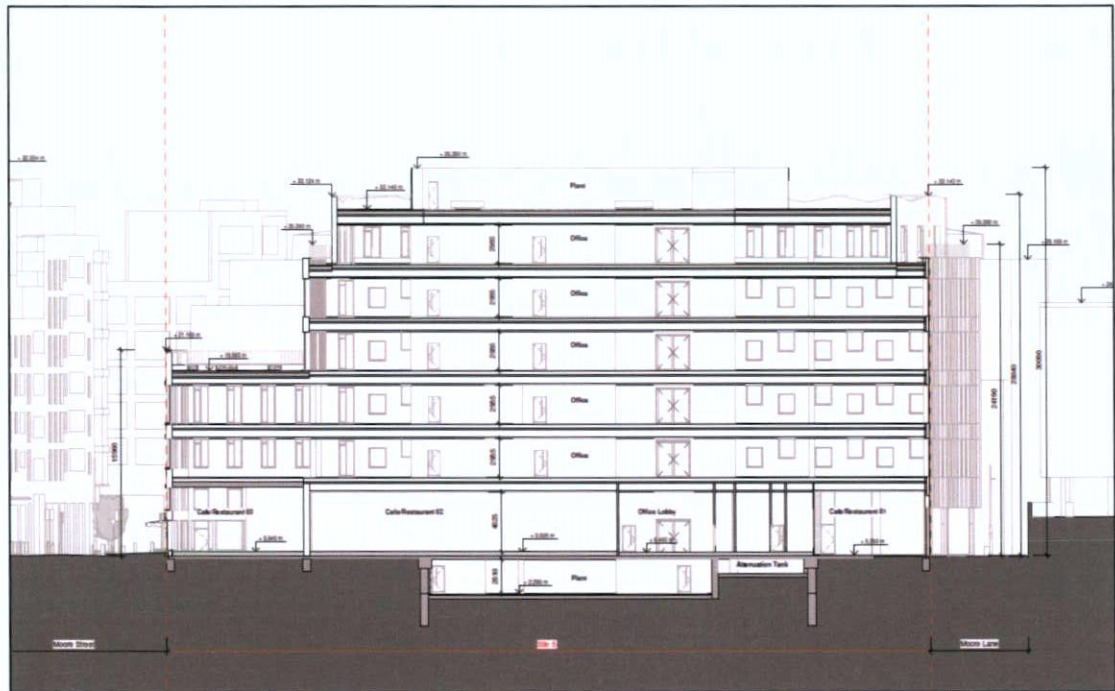


Figure 16.39: Cross section through Site 5 from Moore Street to the west to Moore Lane to the east.

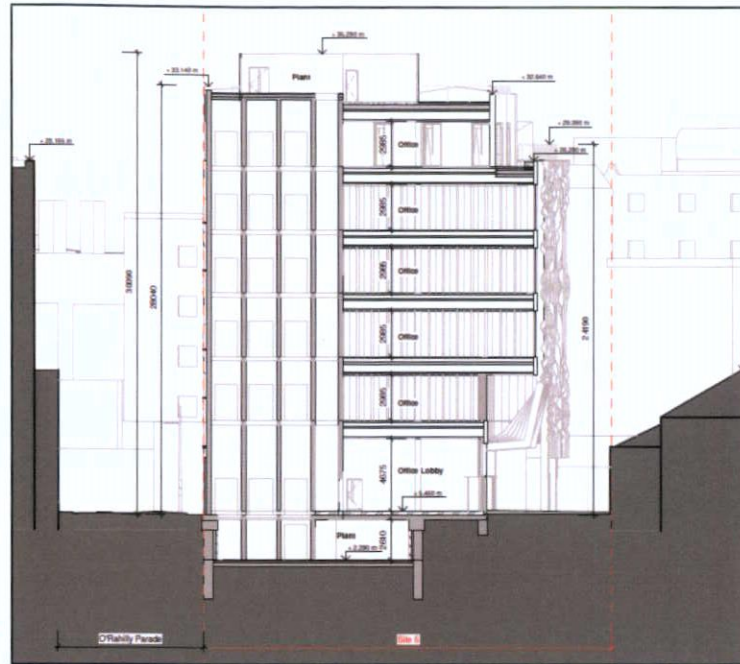


Figure 16.40: Cross section through Site 5 from O'Rahilly Parade to the north to Site 5 to the south.

Where columns are not located above the secant pile wall of the basement, it is anticipated that the proposed scheme will be supported on piled foundations comprising traditional non-displacement rotary bored piles. Based on the ground conditions identified and the building frame loads, 3 piles are used per column, 1200mm deep pile caps will be used above the piles to support the columns over (Figure 16.41).

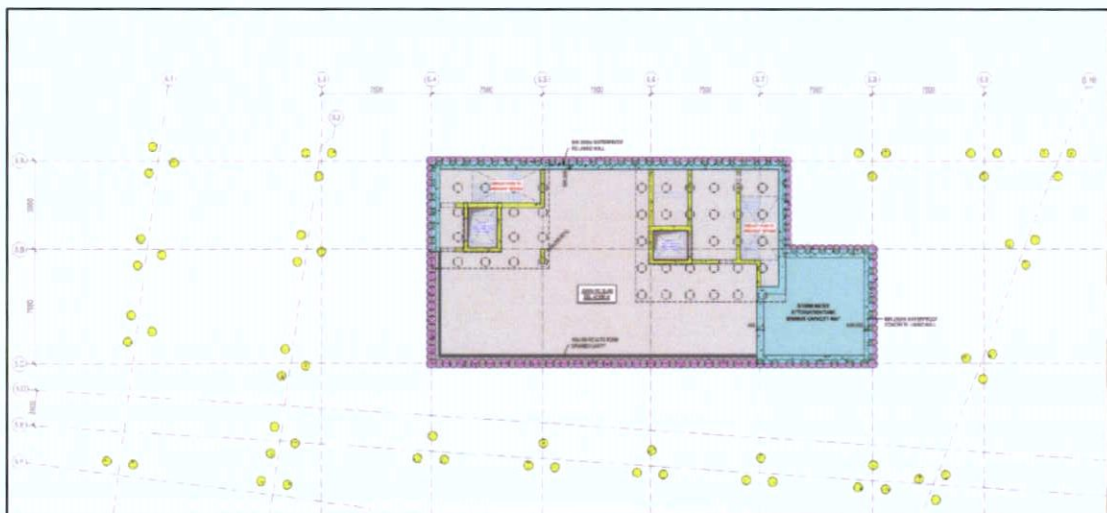


Figure 16.41: Piling layout and basement layout.

There will be a direct impact on any subsurface archaeological features that might be encountered during earthmoving works within Site 5. The predicted impact of the construction phase on potential intact archaeological remains will be Negative. The as yet undiscovered archaeological features within the ZAP are of Medium sensitivity value and the magnitude of the impact is medium resulting in an overall moderate and permanent impact on the archaeological resource which may survive below ground.

The 'Outline Construction & Demolition Management Plan – Site 5', prepared by Waterman Moylan is provided in Appendix 3.4 of the EIAR.

16.6.2.5 Operational Stage

16.6.2.6 Site 3

There is no likely or significant predicted impact during the operational stage of Site 3. All physical archaeological impact issues will be resolved at the pre-construction stage of the development and therefore no potential impacts are envisioned at the operation stage of the development.

The retention of the lanes and properties of historic merit fronting Henry Place will have a significant positive and permanent impact on the setting of the National Monument. The operational stage impacts are most relevant to the upstanding historic buildings and historic fabric (see Chapter 15: Cultural Heritage (Architectural)).

16.6.2.7 Site 4

There is no likely or significant predicted impact during the operational stage of Site 4. All physical archaeological impact issues will be resolved at the pre-construction stage of the development and therefore no potential impacts are envisioned at the operation stage of the development.

The Dublin Central Masterplan proposals include the retention of structures of historic merit that are contemporaneous with the events of the 1916 Easter Rising, the retention of the laneways of the evacuation route from the GPO and the reuse of stone sett pavements and kerbstones. When considered in combination with the anticipated development of Nos. 14 – 17 Moore Street as a commemorative centre the Proposed Development will have a permanent positive impact on the setting of the National Monument. It ensures its protection and appreciation into the future and will bring to the fore the relationship between these structures and laneways and the history and heritage of the Moore Street area. The retention of the lanes and properties of historic merit within the site have a significant positive and permanent impact on the setting of the National Monument.

The operational stage impacts are most relevant to the upstanding historic buildings and historic fabric (see Chapter 15: Cultural Heritage –(Architectural)).

16.6.2.8 Site 5

There is no likely or significant predicted impact during the operational stage of Site 5. All physical archaeological impact issues will be resolved at the pre-construction stage of the development and therefore no potential impacts are envisioned at the operation stage of the development.

The Dublin Central Development proposals include the retention of structures of historic merit that are contemporaneous with the events of the 1916 Easter Rising, the retention of the laneways of the evacuation route from the GPO and the reuse of stone sett pavements and kerbstones. When considered in combination with the anticipated development of Nos. 14 – 17 Moore Street as a commemorative centre the Proposed Development will have a permanent positive impact on the setting of the National Monument. It ensures its protection and appreciation into the future and will bring to the fore the relationship between these structures and laneways and the history and heritage of the Moore Street area. The retention of the lanes and properties of historic merit within the site have a significant positive and permanent impact on the setting of the National Monument.

The operational stage impacts are most relevant to the upstanding historic buildings and historic fabric (see Chapter 15: Cultural Heritage –(Architectural)).

16.6.2.9 Do-Nothing Impact

In the “do-nothing” scenario Sites 3, 4 and 5 would not be redeveloped and therefore there would be no adverse impacts to any as yet undiscovered subsurface archaeological deposits, features or finds. Under the do-nothing scenario, any archaeological features that lie below the existing ground level will remain in- situ. Any information that might enhance our understanding of the eastern development of the city in the early post-medieval and post-medieval period will remain unknown.

16.6.3 Cumulative Dublin Central Masterplan

16.6.3.1 Construction Stage

Potential cumulative impacts may arise during construction and operation, as a consequence of the Proposed Development acting in-combination with other plans and projects. The archaeological sites within the environs of the development are subsurface in nature and do not have an above ground legibility, the below ground surviving remains albeit truncated provide a record of the of the past.

Considering the predicted impacts associated with the implementation of the Dublin Central Masterplan on archaeology, the mitigation measures proposed to identify and record the archaeological resource and the receiving environment, and the protective policies and objectives of the City Development Plans that will direct future development locally, significant cumulative negative effects on archaeology are not predicted.

16.6.3.2 Operational Stage

There is no likely or significant predicted impact during the operational stage of the Dublin Central Masterplan area. All physical archaeological impact issues will be resolved at the pre-construction stage of the development and therefore no potential impacts are envisioned at the operation stage of the development.

The Dublin Central Development proposals include the retention of structures of historic merit that are contemporaneous with the events of the 1916 Easter Rising, the retention of the laneways of the evacuation route from the GPO and the reuse of stone sett pavements and kerbstones. When considered in combination with the development of Nos. 14 – 17 Moore Street as a commemorative centre the Proposed Development will have a permanent positive impact on the setting of the national monument. It ensures its protection and appreciation into the future and will bring to the fore the relationship between these structures and laneways and the history and heritage of the Moore Street area.

The retention of the lanes and properties of historic merit within the site have a significant positive and permanent impact on the setting of the National Monument.

16.6.3.3 Do-Nothing Impact

In the “do-nothing” scenario the Dublin Central Masterplan area would not be redeveloped and therefore there would be no adverse impacts to any as yet undiscovered subsurface archaeological deposits, features or finds. Under the do-nothing scenario, any archaeological features that lie below the existing ground level will remain in- situ. Any information that might enhance our understanding of the eastern development of the city in the early post medieval and post medieval period will remain unknown.

16.7 MITIGATION MEASURES (AMELIORATIVE, REMEDIAL OR REDUCTIVE MEASURES)

16.7.1 Dublin Central Masterplan

16.7.1.1 Construction Stage

16.7.1.1.1 Works in the Vicinity of the National Monument – Nos. 14 – 17 Moore Street

Appropriate conservation methodologies will be employed on all works carried out adjacent to the National Monument (see Chapter 15: Cultural Heritage (Architectural)).

The preservation order for Nos. 14 – 17 Moore Street provides the site with the highest level of statutory protection. The investigation, demolition, earthmoving and construction works within the previously defined assessment area for works in proximity to the National Monument (Figure 16.23) for the development of Site 4 in the Dublin Central Masterplan area will require Ministerial Consent under Section 14 of the National Monuments Act (as amended). The consent application will be supported by detailed method statements compiled by the integrated conservation team for the Dublin Central project (comprising a conservation architect, structural conservation engineer, architect and archaeologist). This will include an archaeological strategy.

It is anticipated that the National Monument will be developed as a commemorative centre under Ministerial Consent C495. Consultation with the OPW and their conservation team has and will continue to be carried out to ensure that there is an integrated and collaborative approach for the protection and conservation of the monument and their shared/adjointing boundaries.

The archaeological mitigation in the vicinity of the National Monument will as a minimum include: -

- Archaeological monitoring of site investigation, site preparation and temporary works as required.
- Archaeological monitoring of site clearance (including the clearance of cellars/basements) and of demolition works to identify and record as appropriate, any objects, fixtures or features that can be related to the 1916 Easter Rising.
- Archaeological testing will be carried out after demolition in the areas to the rear of Nos. 18 and 19 Moore Street and in the rear yard of No. 13 Moore Street to establish the depth and nature of the infill material associated with the backfilling of the brickfield quarry.
- Archaeological excavation of archaeological soils or features that are encountered and impacted by the Proposed Development.
- Archaeological monitoring of earthmoving works.

The archaeological works will be carried out under Ministerial Consent. The Minister may attach further conditions in the granting of consent, including conditions requiring archaeological excavation.

Where the Minister has granted a consent under Section 14 of the Act, no other consent or licence under any provision of the National Monuments Act, including an excavation licence, is required for any archaeological work or activity, (e.g., the other works in Site 4 not bounding the National Monument will require an archaeological licence).

16.7.1.1.2 General Mitigation

The following archaeological mitigation measures will be carried out within the Dublin Central Masterplan area under licence to the DHLGH: -

- **Monitoring**

A programme of archaeological monitoring will take place at the pre-construction, site preparation and enabling works / early stages of construction where any preparatory ground reduction works are required. This will be carried out in order to establish the presence or absence, as well as the nature and extent, of any archaeological deposits, features or sites that may be present, where ground investigation and earth-moving works are taking place. This will include the survey and recording of any surviving 18th century structures that may be revealed.

- **Test Excavation**

Given that the development is within the ZAP for Dublin (DU018-020), archaeological test excavation will be required. The testing will be carried out during the post demolition phase in areas where it is possible and safe to do so. It will be strategic and focused in areas where there are no existing basements. The testing will establish the nature and the level of disturbance across the site.

Following the implementation of an approved programme of mitigation, any impact on archaeological soils, finds or features identified within the Dublin Central Masterplan area will be resolved in consultation with the relevant authorities during the course of the project.

- **Excavation**

In the event that archaeological features or deposits exist, the mitigation for development impact will involve an excavation which will be integrated into the early phases of the site's development programme.

Archaeological excavation will ensure that this removal is systematically and accurately recorded, drawn and photographed, to achieve a full descriptive paper and digital archive, thereby adding to the archaeological record and to the knowledge of a specified area.

The results will be compiled in detailed reports which will be submitted to DCC and to DHLGH and the NMI in compliance with the awarding of a licence.

- **Licensing**

Archaeological monitoring and excavation will be carried out under licence from the DHLGH and the NMI, and will ensure the full recognition of, and the proper excavation and recording of all archaeological soils, features, finds and deposits which may be disturbed below the ground surface.

All mitigation measures will be carried out in accordance with an approved method statement which will be agreed in advance with the DCC City Archaeologist.

- **General**

These proposed strategies do not prejudice any further recommendations made by the Department, who may seek additional information or consider alternative strategies.

National Monuments Legislation (as amended) states that in the event of the discovery of archaeological finds or remains, the NMI should be notified immediately. Provision must be made to allow for, and fund any, archaeological work that may be needed if any remains should be noted during ground preparation works or during construction. As described above, if features are revealed, the area will need to be investigated, allowing no further development to take place until the site is fully identified, recorded and excavated or, alternatively, avoided.

All archaeological issues shall be resolved to the satisfaction of the DHLGH and the NMI.

The Applicant is aware of the archaeological potential of the site and its implications for the development and the possibility of a significant design change. The Applicant will make provision to allow for and fund whatever archaeological work may be needed on the site in accordance with the National Monuments legislation (1930–2004).

16.7.1.2 Operational Stage

None required.

16.7.2 Proposed Development – Site 3, 4 & 5

16.7.2.1 Construction Stage

16.7.2.2 Site 3

Site 3 is a conglomeration of properties amassed over a period of time. A phased approach to the archaeological investigation and mitigation is suggested: -

- **Monitoring**

Archaeological monitoring will take place at the preconstruction, site preparation and enabling works / early stages of construction and where any preparatory ground reduction works are required. This will be carried out in order to establish the presence or absence, as well as the nature and extent, of any archaeological deposits, features or sites that may be present, where ground investigation and earth-moving works are taking place.

It is anticipated that the following works will be monitored as required: -

- *Pre-Demolition Investigation Works*

Including but not limited to the monitoring of: -

- Site investigation works.
- Opening up works at basement or ground levels.
- Site survey of existing basements in association with the conservation contractor (as required) to record any early 18th century fabric that might be identified.
- Recording of basement vaults beneath Henry Street prior to infilling (where it is safe to do so).

- *Demolition & Enabling Works*

Including but not limited to the monitoring of: -

- Temporary enabling works where they will require opening up works at ground level.
- Strip footings associated with retention of structures and adjacent basements.
- Excavation of pile guide.
- Post-demolition grubbing out of foundations and substructures.
- All earthmoving works.

- **Test Excavation**

Given that the development is within the ZAP for Dublin (DU018-020), archaeological test excavation will be required.

The testing will be carried out during the post demolition phase in areas where it is possible and safe to do so. It will be strategic and focused in areas where there are no existing basements. The testing will establish the nature and the level of disturbance across the site.

Following the implementation of an approved programme of mitigation, any impact on archaeological soils, finds or features identified within Site 3 will be resolved in consultation with the relevant authorities during the course of the project.

- **Excavation**

In the event that archaeological features or deposits exist, the mitigation for development impact will involve an excavation which will be integrated into the early phases of the site's development programme.

Archaeological excavation will ensure that this removal is systematically and accurately recorded, drawn and photographed, to achieve a full descriptive paper and digital archive, thereby adding to the archaeological record and to the knowledge of a specified area.

The results will be compiled in detailed reports which will be submitted to DCC and to DHLGH and the NMI in compliance with the awarding of a licence.

- **Licencing**

Archaeological monitoring and excavation will be carried out under licence from the DHLGH and the NMI, and will ensure the full recognition of, and the proper excavation and recording of all archaeological soils, features, finds and deposits which may be disturbed below the ground surface.

All mitigation measures will be carried out in accordance with an approved method statement which will be agreed in advance with the DCC City Archaeologist.

- **General**

These proposed strategies do not prejudice any further recommendations made by the Department, who may seek additional information or consider alternative strategies.

National Monuments Legislation (as amended) states that in the event of the discovery of archaeological finds or remains, the NMI should be notified immediately. Provision must be made to allow for, and fund any, archaeological work that may be needed if any remains should be noted during ground preparation works or during construction. As described above, if features are revealed, the area will need to be investigated, allowing no further development to take place until the site is fully identified, recorded and excavated or, alternatively, avoided.

All archaeological issues shall be resolved to the satisfaction of the DHLGH and the NMI.

16.7.2.3 Site 4

16.7.2.3.1 Works in the vicinity of the National Monument – Nos. 14 – 17 Moore Street

Appropriate conservation methodologies will be employed on all works carried out adjacent to the national monument (see Chapter 15: Cultural Heritage (Architectural)).

The preservation order for Nos. 14 – 17 Moore Street provides the site with the highest level of statutory protection. The investigation, demolition, earthmoving and construction works within the previously defined assessment area for works in proximity to the National Monument (Figure 16.23) for the development of Site 4 in the Dublin Central Masterplan area will require Ministerial Consent under Section 14 of the National Monuments Act (as amended). The consent application will be supported by detailed method statements compiled by the integrated conservation team for the Dublin Central project (comprising a conservation architect, structural conservation engineer, architect and archaeologist). This will include an archaeological strategy.

The national monument will be developed as a commemorative centre (a cultural use) under ministerial consent C495. As part of the design process the Dublin Central Team has consulted with the DHLGH, the OPW and their conservation team. Consultation will be an ongoing process to ensure that there is an integrated and collaborative approach for the protection and conservation of the monument and the shared/adjoining boundaries with Site 4. The detailed methodologies for these works will be developed through the Ministerial Consent process. The archaeological mitigation in the vicinity of the National Monument will as a minimum include: -

- Archaeological monitoring of site investigation, site preparation and temporary works as required.

- Archaeological monitoring of site clearance (including the clearance of cellars / basements) and of demolition works to identify and record as appropriate, any objects, fixtures or features that can be related to the 1916 Easter Rising.
- Archaeological testing will be carried out after demolition in the areas to the rear of Nos. 18 and 19 Moore Street and in the rear yard of No. 13 Moore Street.
- Archaeological excavation of archaeological soils or features that are encountered and impacted by the Proposed Development.
- Archaeological monitoring of earthmoving works.

The archaeological works will be carried out under the Ministerial Consent. The consent application will be supported by detailed method statements compiled by the integrated Dublin Central conservation team (comprising a conservation architect, structural conservation engineers, architects and archaeologists). This will include an archaeological strategy for the works for all phases the development i.e., site preparation, demolition and construction. The Minister may attach further conditions in the granting of consent, including conditions requiring archaeological excavation.

Where the Minister has granted a consent under Section 14 of the Act, no other consent or licence under any provision of the National Monuments Act, including an excavation licence, is required for any archaeological work or activity, (the other works in Site 4 not bounding the National Monument will require an archaeological licence).

16.7.2.3.2 General Mitigation

The following archaeological mitigation measures will be carried out within Site 4: -

- **Monitoring**

Archaeological monitoring will take place at the preconstruction, site preparation and enabling works / early stages of construction and where any preparatory ground reduction works are required. This will be carried out in order to establish the presence or absence, as well as the nature and extent, of any archaeological deposits, features or sites that may be present, where ground investigation and earth-moving works are taking place. This will include the survey and recording of any surviving 18th century structures that may be revealed.

It is anticipated that the following works will be monitored as required: -

- *Pre-Demolition Investigation Works*

Including but not limited to the monitoring of: -

- Site investigation works.
- Opening up works at basement or ground levels.
- Site survey of existing basements in association with the conservation contractor (as required) to record any early 18th century fabric that might be identified.
- Recording of basement prior to infilling.

- *Demolition & Enabling Works*

Including but not limited to the monitoring of: -

- Temporary enabling works where they will require opening up works at ground level.
- Strip footings associated with retention of structures and adjacent basements.
- Post-demolition grubbing out of foundations and substructures.
- All earthmoving works.

- **Test Excavation**

Given that the development is within the ZAP for Dublin (DU018-020), archaeological test excavation will be required.

The testing will be carried out during the post demolition phase in areas where it is possible and safe to do so. It will be strategic and focused in areas where there are no existing basements. The testing will establish the nature and the level of disturbance across the site.

Following the implementation of an approved programme of mitigation, any impact on archaeological soils, finds or features identified within Site 4 will be resolved in consultation with the relevant authorities.

- **Excavation**

In the event that archaeological features or deposits exist, the mitigation for development impact will involve an excavation which will be integrated into the early phases of the site's development programme.

Archaeological excavation will ensure that this removal is systematically and accurately recorded, drawn and photographed, to achieve a full descriptive paper and digital archive, thereby adding to the archaeological record and to the knowledge of a specified area.

The results will be compiled in detailed reports which will be submitted to DCC and to DHLGH and the NMI in compliance with the awarding of a licence.

- **Licencing**

Archaeological monitoring and excavation will be carried out under licence from the DHLGH and the NMI, and will ensure the full recognition of, and the proper excavation and recording of all archaeological soils, features, finds and deposits which may be disturbed below the ground surface.

All mitigation measures will be carried out in accordance with an approved method statement which will be agreed in advance with the DCC City Archaeologist.

- **General**

These proposed strategies do not prejudice any further recommendations made by the Department, who may seek additional information or consider alternative strategies.

National Monuments Legislation (as amended) states that in the event of the discovery of archaeological finds or remains, the NMI should be notified immediately. Provision must be made to allow for, and fund any, archaeological work that may be needed if any remains should be noted during ground preparation works or during construction. As described above, if features are revealed, the area will need to be investigated, allowing no further development to take place until the site is fully identified, recorded and excavated or, alternatively, avoided.

All archaeological issues shall be resolved to the satisfaction of the DHLGH and the NMI.

16.7.2.4 Site 5

General Mitigation

The following archaeological mitigation measures will be carried out within Site 5: -

- **Monitoring**

Archaeological monitoring will take place at the preconstruction, site preparation and enabling works/ early stages of construction and where any preparatory ground reduction works are required. This will be carried out in order to establish the presence or absence, as well as the nature and extent, of any archaeological deposits, features or sites that may be present, where ground investigation and earth-moving works are taking place.

It is anticipated that the following works will be monitored as required: -

- *Pre-Demolition Investigation Works*
Including but not limited to the monitoring of: -
 - Site investigation works.
 - Opening up works at basement or ground levels.
 - Site survey of existing basements in association with the conservation contractor (as required) to record any early 18th century fabric that might be identified.
 - Recording of basement prior to infilling.
- *Demolition & Enabling Works*
Including but not limited to the monitoring of: -
 - Temporary enabling works where they will require opening up works at ground level.
 - Strip footings associated with retention of structures and adjacent basements.
 - Post-demolition grubbing out of foundations and substructures.
 - All earthmoving works.

- **Test Excavation**

Given that the development is within the ZAP for Dublin (DU018-020), archaeological test excavation will be required. The testing will be carried out during the post demolition phase in areas where it is possible and safe to do so. It will be strategic and focused in areas where there are no existing basements. The testing will establish the nature and the level of disturbance across the site.

Following the implementation of an approved programme of mitigation, any impact on archaeological soils, finds or features identified within Site 4 will be resolved in consultation with the relevant authorities.

- **Excavation**

In the event that archaeological features or deposits exist, the mitigation for development impact will involve an excavation which will be integrated into the early phases of the site's development programme.

Archaeological excavation will ensure that this removal is systematically and accurately recorded, drawn and photographed, to achieve a full descriptive paper and digital archive, thereby adding to the archaeological record and to the knowledge of a specified area.

The results will be compiled in detailed reports which will be submitted to DCC and to DHLGH and the NMI in compliance with the awarding of a licence, or in the case of the National Monument, Ministerial Consent to excavate.

- **Licensing**

Archaeological monitoring and excavation will be carried out under licence from the DHLGH and the NMI, and will ensure the full recognition of, and the proper excavation and recording of all archaeological soils, features, finds and deposits which may be disturbed below the ground surface.

All mitigation measures will be carried out in accordance with an approved method statement which will be agreed in advance with the DCC City Archaeologist.

- **General**

These proposed strategies do not prejudice any further recommendations made by the Department HLGH, who may seek additional information or consider alternative strategies.

National Monuments Legislation (as amended) states that in the event of the discovery of archaeological finds or remains, the NMI should be notified immediately. Provision must be made to allow for, and fund any, archaeological work that may be needed if any remains should be noted during ground preparation works or during construction. As described above, if features are revealed, the area will need to be investigated, allowing no further development to take place until the site is fully identified, recorded and excavated or, alternatively, avoided.

All archaeological issues shall be resolved to the satisfaction of the DHLGH and the NMI.

16.7.2.5 Operational Stage

No further archaeological testing, excavation or monitoring works will be necessary during the operation phase of the development (i.e. Site 3, Site 4 & Site 5).

16.8 RESIDUAL IMPACT

16.8.1 Dublin Central Masterplan

16.8.1.1 Construction Stage

Following the implementation of an approved programme of mitigation, any impact on archaeological soils, finds or features identified within the Dublin Central Masterplan area lands will be resolved in consultation with the relevant authorities during the course of the project. There will therefore be no residual impacts on the archaeological resource. A beneficial residual impact will be the increased knowledge of the archaeology of this part of Dublin City.

A beneficial residual impact will be the increased knowledge of the archaeology of this part of Dublin City.

16.8.1.2 Operational Stage

There will be no residual impact on the archaeological heritage during the operational stage of the development.

16.8.1.3 Worst Case Impact

There is no worst case residual impact on the site

16.8.2 Proposed Development – Site 3, 4 & 5

16.8.2.1 Construction Stage

Following the implementation of an approved programme of mitigation, any impact on archaeological soils, finds or features identified within Site 3, Site 4 or Site 5 will be resolved in consultation with the relevant authorities during the course of the project. There will therefore be negligible residual impacts on the archaeological resource. A beneficial residual impact will be the increased knowledge of the archaeology of this part of Dublin City.

16.8.2.2 Operational Stage

There will be no residual impact on the archaeological heritage during the operational stage of the development.

16.8.2.3 Worst Case Impact

There is no worst case residual impact on the site

16.9 MONITORING**16.9.1 Dublin Central Masterplan****16.9.1.1 Construction Stage**

See section 16.5.3.1 above, monitoring is part of the mitigation strategy outlined above.

16.9.1.2 Operational Stage

Not applicable.

16.9.2 Proposed Development – Site 3, 4 & 5**16.9.2.1 Construction Stage**

See section 16.6.2.1 above, monitoring is part of a mitigation strategy outlined above.

16.9.2.2 Operational Stage

Not applicable.

16.10 REINSTATEMENT

Not applicable.

16.11 DIFFICULTIES ENCOUNTERED

No difficulties were encountered during the compilation of this chapter.



17 RISK MANAGEMENT (MAJOR ACCIDENTS AND DISASTERS)

17.1 Introduction

This chapter of the Environmental Impact Assessment Report (EIAR) describes the Dublin Central Masterplan and the Proposed Development in respect of its potential vulnerability to major accidents / disasters, and its potential to give rise to the same. The Proposed Development which is the subject of these 3no. concurrent planning applications consists of Site 3, Site 4 and Site 5. Dublin Central is underpinned by a Masterplan (refer to Figure 17.1 below indicating the Dublin Central Masterplan area) which will be assessed also.

The assessment is carried out in compliance with the EIA Directive on the assessment of the effects of certain public and private projects on the environment that entered into force on 16 May 2017 which states the need to assess: -

“the expected effects deriving from the vulnerability of the project to risks of major accidents and/or disasters that are relevant to the project concerned.”

The underlying objective of this assessment is to ensure that appropriate precautionary actions are taken for those projects which *“because of their vulnerability to major accidents and/or natural disasters, are likely to have significant adverse effects on the environment.”*

This chapter has been prepared by Stephen Little, Managing Director and Michael O’Sullivan, Senior Planner, of Stephen Little & Associates. Stephen has 29 years professional experience of town planning in Ireland, is a Corporate Member of both the Irish Planning Institute and the Royal Town Planning Institute and holds a Diploma in EIA Management (UCD). Michael has 7 years’ professional experience in the planning in both the public sector and private consultancy in Ireland, has a MPlan – Master in Planning & Sustainable Development and is a Corporate Member of the Irish Planning Institute.

DCC PLAN NO 2862/21
RECEIVED: 01/06/2021

17.2 Assessment Methodology

The scope and methodology of this assessment is centred on the understanding that the Proposed Development will be designed, built and operated in line with best international current practice. As such, major accidents resulting from the Proposed Development would be very unlikely.

The scope and methodology presented in the following sections are based on the provisions of the EIA Directive, the draft EPA Guidelines, EU Commission guidance, as well as professional judgement.

A risk analysis-based methodology that covers the identification, likelihood and consequence of major accidents and / or disasters has been used for this assessment (Refer to Section 16.5 for further detail on this approach).

The assessment of the risk of major accidents and / or disasters considers all factors defined in the EIA Directive that have been considered in this EIAR, i.e. population and human health, biodiversity, land, soil, water, air, climate, material assets, cultural heritage and the landscape.

In the context of this environmental topic, the consideration of impacts for the Dublin Central Masterplan are considered to be the same as for the applications at Sites 3, 4 and 5 of the Dublin Central Masterplan.

17.2.1 Guidance and Legislation

17.2.1.1 Legislative Requirements

The following paragraphs set out the requirements of the EIA Directive in relation to major accidents and / or disasters.

Recital 15 of the EIA Directive states that: -

“In order to ensure a high level of protection of the environment, precautionary actions need to be taken for certain projects which, because of their vulnerability to major accidents, and/or natural disasters (such as flooding, sea level rise, or earthquakes) are likely to have significant adverse effects on the environment. For such projects, it is important to consider their vulnerability (exposure and resilience) to major accidents and/or disasters, the risk of those accidents and/or disasters occurring and the implications for the likelihood of significant adverse effects on the environment. In order to avoid duplications, it should be possible to use any relevant information available and obtained through risk assessments carried out pursuant to Union legislation, such as Directive 2012/18/EU of the European Parliament and the Council and Council Directive 2009/71/Euratom, or through relevant assessments carried out pursuant to national legislation provided that the requirements of this Directive are met.”

It is clear from the EIA Directive that a major accident and / or disaster assessment is most readily applied to ‘Control of Major Accident Hazards involving Dangerous Substances’ (COMAH) sites or major industrial / energy installations. Notwithstanding, the assessment of major accidents and disasters for the Proposed Development has been carried out for completeness given the strategic nature of the Proposed Development.

Article 3 of the EIA Directive requires that the EIAR shall identify, describe and assess in the appropriate manner, the direct and indirect significant effects on population and human health, biodiversity, land, soil, water, air and climate, material assets, cultural heritage and landscape deriving from (amongst other things) the “vulnerability of the project to risks of major accidents and / or disasters that are relevant to the project concerned”.

The information relevant to major accidents and/or disasters to be included in the EIAR is set out in Section 8 of Annex IV of the EIA Directive as follows: -

“(8) A description of the expected significant adverse effects of the project on the environment deriving from the vulnerability of the project to risks of major accidents and/or disasters which are relevant to the project concerned. Relevant information available and obtained through risk assessments pursuant to Union legislation such as Directive 2012/18/EU of the European Parliament and of the Council or Council Directive 2009/71/Euratom or relevant assessments carried out pursuant to national legislation may be used for this purpose provided that the requirements of this Directive are met. Where appropriate, this description should include measures envisaged to prevent or mitigate the significant adverse effects of such events on the environment and details of the preparedness for and proposed response to such emergencies.”

17.2.1.2 Guidance Documents

A number of guidance documents and published plans have been reviewed and considered in order to inform this assessment, as described in the following sections.

- European Commission – Environmental Impact Assessment of Projects – Guidance on the preparation of the Environmental Impact Assessment Report (2017).
- Draft Environmental Protection Agency Guidelines (2017).
- Guidance on Assessing and Costing Environmental Liabilities (2014).
- A Framework for Major Emergency Management Guidance Document 1-A Guide to Risk Assessment in Major Emergency Management (2010).
- A National Risk Assessment for Ireland 2017 (2017).
- A Guide to Risk Assessment in Major Emergency Management (2010).

17.3 Receiving Environment

The Proposed Development forms part of a Dublin Central Masterplan area c. 2.2 Ha in area and is generally bounded by Parnell Street, O’Rahilly Parade, O’Connell Street Upper, Henry Street, Moore Street, Dublin 1. Both Moore Lane and Henry Place are located within the Dublin Central Masterplan area.

O'Connell Street is regarded as one of the principal thoroughfares of the Capital and has historic associations with the Easter Rising. Moore Street is well known for its street trader markets and Henry Street is one of the busiest shopping streets in the state. The site is located at the heart of the retail and historic core of Dublin City centre.

O'Connell Street has been identified in several policy documents as a major street of national importance, which has the potential to become the premier street in the state. The Street is regarded as one of the principal thoroughfares of the Capital and links to Henry Street which is one of the busiest shopping streets in the state. The land uses on O'Connell Street largely consist of retail, office, financial institutions and other non-retail uses. The upper floors appear to be or were predominantly used as office space or for storage.

Moore Street (to the west of O'Connell Street) has historic associations with the 1916 Easter Rising and Moore Street is well known for its street trader markets. Moore Lane primarily functions as a service lane serving the rear buildings fronting on to main thoroughfares as well as accommodating some warehousing and small scale offices.

The site is proximate to several well-known cultural, historical and transport landmarks. It is located c. 250m north of O'Connell Bridge and the River Liffey and next to the Spire of Dublin. The Gate Theatre and the Ambassador music venue are also located at Parnell Square, directly across the road from the northern corner of the Dublin Central site. The Hugh Lane Gallery (Charlemont House), the Irish Writer's Museum and the Abbey Presbyterian Church, are located to the north of the site, on Parnell Square North. The Savoy Cinema and Cineworld are both within walking distance of the site and are located on O'Connell Street and Parnell Street, respectively. The James Joyce Centre, the Abbey Theatre and the Liberty Hall Theatre are also located within walking distance of the site. A new City Library and Cultural Quarter has been permitted at Parnell Square North, at the site of the former Scoil Mhuire and adjoining buildings.

In terms of significant open spaces, the site is situated c. 200m from the Garden of Remembrance on Parnell Square, c. 2.4km from Phoenix Park, which is the largest enclosed urban park in Europe, just over 1km from St. Stephen's Green to the south and c. 1.3km from Smithfield Square.

The Dublin Central Masterplan area is highly accessible by public transport as it is located proximate to Bus Aras and Connolly Station. It is served by the red and cross city LUAS lines and bus services on O'Connell Street. The red and cross city LUAS lines serve stops at Heuston Station, O'Connell Street and Parnell Square, which act as termini for numerous Dublin Bus services. A Metrolink Station, as part of the Metrolink Project is to be developed by Transport Infrastructure Ireland, is to be located beneath Site 2AB and Site 2C of the Dublin Central Masterplan.

17.4 Characteristics of the Proposed Development

17.4.1 Dublin Central Masterplan

The Dublin Central Masterplan is divided into six sites. The overall development site is bounded by Henry Street to the south, O'Connell Street Upper to the east, Parnell Street and O'Rahilly Parade to the north-east and north-west respectively, and Moore Street to the west. The development is a mixed use development, and includes office, hotel, residential, café / restaurant and retail spaces. There is also provision made in Site 2AB and Site 2C for a proposed Metrolink station, to be implemented separately by Transport Infrastructure Ireland (TII). A breakdown of the schedule of accommodation is shown in the Table below: -