

MOLA
Architecture

March 2022

Priorsland Cherrywood SHD

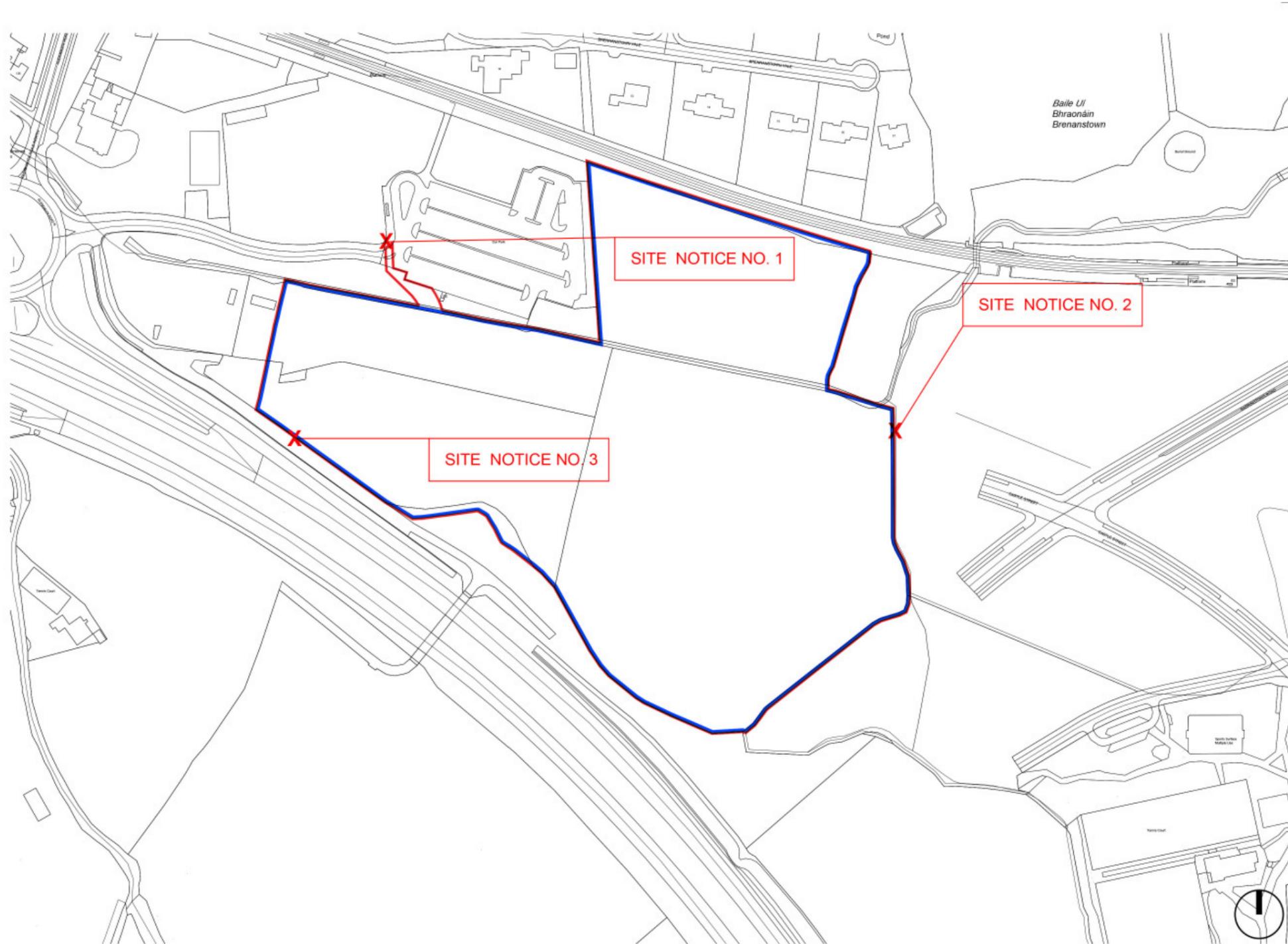
A3 DRAWINGS

PLD18-MOLA-XX-XX-RP-A-10-XX004

SITE LOCATION MAP; OSI MAP - PLD18-MOLA-XX-XX-DR-A-10-XX100

Description:
 Digital Cartographic Model (DCM)
 Publisher / Source:
 Ordnance Survey Ireland (OSI)
 Data Source / Reference:
 PRIME2
 File Format:
 Autodesk AutoCAD (DWG_R2013)
 File Name:
 v_50234636_1.dwg
 Clip Extent / Area of Interest (AOI):
 LLX,LLY= 721910.0,723614.5
 LRX,LRY= 722740.0,723614.5
 ULX,ULY= 721910.0,724229.5
 URX,URY= 722740.0,724229.5
 Projection / Spatial Reference:
 Projection= IRENET95_Irish_Transverse_Mercator
 Centre Point Coordinates:
 X,Y= 722325.0,723922.0
 Reference Index:
 Map Series / Map Sheets
 1:2,500 | 3456-D
 1:2,500 | 3456-C
 Data Extraction Date:
 Date= 22-Nov-2021
 Source Data Release:
 DCLMS Release V1.146.112
 Product Version:
 Version= 1.3

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 Gach cead ar cosnamh. Ní ceadmhach aon chuid den fhoilseachán seo a chóipeáil, a atáirgeadh nó a tharchur in aon thoirn ná ar aon bhealach gan cead i scríbhinn roimh ré ó úinéirí an chóipcheart.
 Ní hionann bóthar, bealach nó cosán a bheith ar an léarscáil seo agus fianaise ar chead síl. Ní thaispeánann léarscáil de chuid Ordnáis Shuirbhéireacht na hÉireann teorann phointí dleathúil de mhaoin riamh, ná úinéireacht de ghnéithe fhisiciúla.
 OSI MAP LICENCE NUMBER REF : CYAL50178201



NOTES / LEGEND
 [Red line] SITE BOUNDARY
 [Blue line] OWNERSHIP BOUNDARY

OSI MAP LICENCE NUMBER REF : CYAL50178201

Key Plan:

Rev.	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

MOLA
 2 Donnybrook Road,
 Donnybrook,
 Dublin 4, Ireland
 Telephone +353 1 218 3900
 www.molaarchitecture.com

Notes:
 Do not scale.
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 All dimensions to be checked on site.
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Stage:	PLANNING
Client:	1 CARRICKMINES LAND LIMITED
Project:	PRIORSLAND CHERRYWOOD SHD
Drawing:	SITE LOCATION MAP; OSI MAP
Date:	MARCH 2022
Scale:	1:2500 @A3
Int. Job No.:	18029
Drawing No.:	PLD18-MOLA-XX-XX-DR-A-10-XX100
Status:	-
Revision:	P-01

PROPOSED SITE LAYOUT PLAN - PLD18-MOLA-XX-XX-DR-A-10-XX101



FUTURE PRIMARY SCHOOL SITE BOUNDARY - PLD18-MOLA-XX-XX-DR-A-10-XX102

Description:
Digital Cartographic Model (DCM)

Publisher / Source:
Ordnance Survey Ireland (OSi)

Data Source / Reference:
PRIME2

File Format:
Autodesk AutoCAD (DWG_R2013)

File Name:
v_50234636_1.dwg

Clip Extent / Area of Interest (AOI):
LLX,LLY= 721910.0,723614.5
LRX,LRY= 722740.0,723614.5
ULX,ULY= 721910.0,724229.5
URX,URY= 722740.0,724229.5

Projection / Spatial Reference:
Projection= IRENET95_Irish_Transverse_Mercator

Centre Point Coordinates:
X,Y= 722325.0,723922.0

Reference Index:
Map Series | Map Sheets
1:2,500 | 3456-D
1:2,500 | 3456-C

Data Extraction Date:
Date= 22-Nov-2021

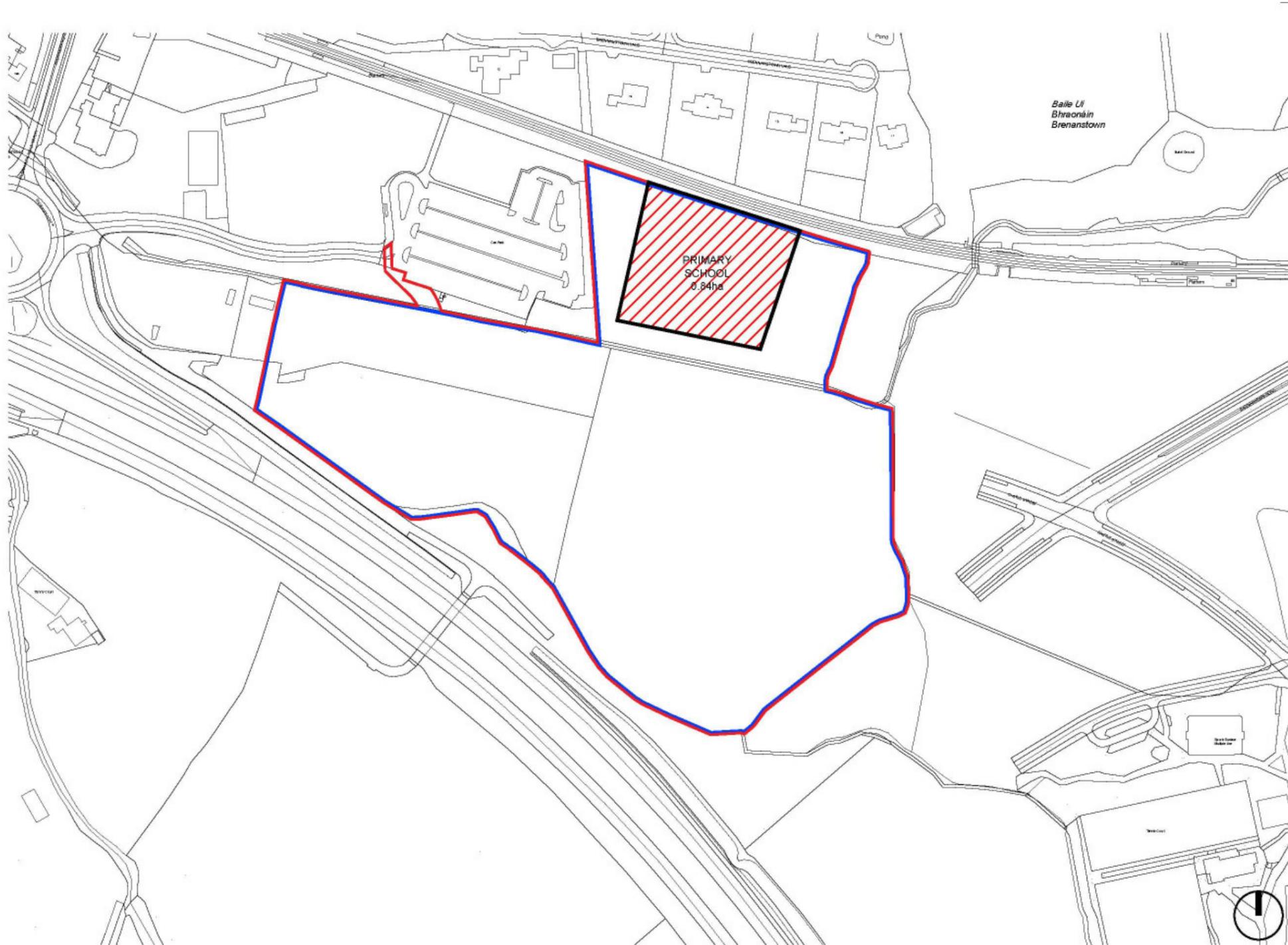
Source Data Release:
DCLMS Release V1.146.112

Product Version:
Version= 1.3

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© Suirbhéireacht Ordánais Éireann, 2021
Amathionsu agus ama fhóilsú ag Suirbhéireacht Ordánais Éireann, Páirc an Fhionnuisce, Baile Átha Cliath 8, Éire.
Sáraitom atáirgeadh neamhúdaráithe cóipeacht Shuirbhéireacht Ordánais Éireann agus Rialtas na hÉireann.
Gach cead ar cosnamh. Ní ceadmhach aon chuid den fhóilséachán seo a chóipeáil, a atáirgeadh nó a thairchur in aon fhoirm ná ar aon bhealach gan cead i scríbhinn roimh ré ó úinéir an chóipeáil.
Ní honam bóthar, bealach nó cosán a bhíth ar an léarscáil seo agus fianaise ar chead sli.
Ní tháirgeánann léarscáil de chuid Ordánais Shuirbhéireacht na hÉireann teorann phointe díleathúil de mhaoin namh, ná úinéireacht de ghnéithe thísicúla.
OSI MAP LICENCE NUMBER REF: CYAL50178201



NOTES / LEGEND

— SITE BOUNDARY

— OWNERSHIP BOUNDARY

Rev.	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

MOLA 2 Darrybrook Road, Darrybrook, Dublin 4, Ireland Telephone: +353 1 216 3600 www.molasearchitect.com

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Stage	Client	Project	Drawing	Date	Scale	Int. Job No.	Status	Revision
PLANNING	1 CARRICKMINES LAND LIMITED	PRIORSLAND CHERRYWOOD SHD	FUTURE PRIMARY SCHOOL SITE BOUNDARY	MARCH 2022	1:2500 @A3	18029	-	P-01



NOTE / LEGEND

- SITE BOUNDARY
- PROPOSED AREAS TO BE TAKEN IN CHARGE
- PROPOSED WAYLEAVE FOR ACCESS AND MAINTENANCE

OSI LICENCE NUMBER REF: CVALD0178201

GENERAL NOTES:

- DRAWINGS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
- REFER TO ARCHITECT'S DESIGN REPORT FOR FURTHER INFORMATION ON PROJECT MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.
- GREEN ROOF SHOWN INDICATIVE. PROVISION TO MEET MINIMUM OF 60% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
001	20/03/2022	ISSUED FOR TENDERING	MOLA

MOLA Chartered Firm
 1 CARRICKMIES LAND LIMITED
 1 CARRICKMIES ROAD
 DUBLIN 15
 TEL: 01 274 2888
 WWW.MOLALANDSCAPE.COM

PLANNING

1 CARRICKMIES LAND LIMITED
 PRIORSLAND-CHERRYWOOD SHD
 PROPOSED TAKING IN CHARGE PLAN
 MARCH 2022 1:500 @A3
 18029 | A3 DRAWINGS | MARCH 2022



DASHED LINE REPRESENTS INDICATIVE FUTURE ROAD LAYOUT.
RED LINE BOUNDARY EXTENDED TO MEET EXISTING ROAD LAYOUT.

NOTES / LEGEND

- SITE BOUNDARY
- OWNERSHIP BOUNDARY
- B BRIDGE PRIORITY BUS / PEDESTRIAN / CYCLE PATH CONNECTION TO CONNECT TO EXISTING/FUTURE ROAD LAYOUT, ROAD TO REMAIN FULLY OPERATIONAL THROUGHOUT SITE DEVELOPMENT.

OSI LICENCE NUMBER NO. REF: 25333284

Key Plan

Rev	Date	Description	By
00	30/01/19	PRELIMINARY RIGHT OF WAY REVIEW	A.R.
01	28/02/19	ITEM 7 REVISED (PEDESTRIAN/CYCLE)	S.R.
02	21/02/19	TO BEST PRACTICE FROM ORIGINAL	S.R.
03	18/03/19	ITEM 7 REVISED	S.R.
04	28/03/19	ITEM 7 & 8 REVISED	S.R.
05	28/03/19	ITEM 7 & 8 REVISED	S.R.
06	28/03/19	ITEM 7 & 8 REVISED	S.R.
07	01/04/19	ITEM 7 & 8 CORRECTED	S.R.

MOLA 2 Downbank Road, Carrigrohane, Dublin 8, Ireland. Telephone: +353 1 214 2800. www.molarchitecture.com

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Stage

PLANNING

Client	CARRIGROHANE LAND LIMITED
Project	PRIORSLAND
Drawing	CONSENT MAP - WORKS TO LAND OWNED BY SMYTHS
Date	28/03/2019
Scale	1:1000 @A1
Drawn by	190229
Checked by	PLD18-MOLA-XX-XX-DR-A-XX-XX1051
Rev	P-00
Rev	P-07

EXISTING SITE LAYOUT PLAN - PLD18-MOLA-XX-XX-DR-A-18-XX180



NOTES / LEGEND
 SITE BOUNDARY

OS LICENCE NUMBER REF: CYAL501782H

GENERAL NOTES
 DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS

Rev	Date	Description	By
01	25/03/22	ISSUED FOR PLANNING	MOLA

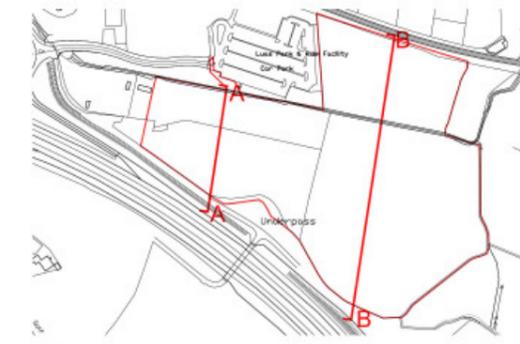
MOLA
 CONSULTANTS
 18029 | A3 DRAWINGS | MARCH 2022

PLANNING	
Client	1 CARRONHILLS LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	EXISTING SITE LAYOUT PLAN
Date	MARCH 2022 1:50 @A3
Scale	1:500
Sheet	PLD18-MOLA-XX-XX-DR-A-18-XX180

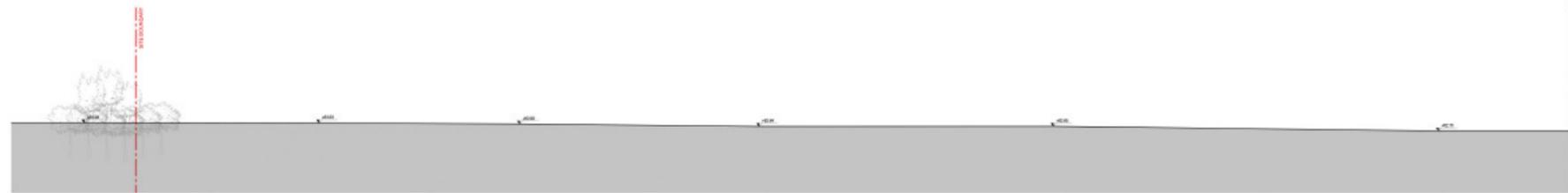
EXISTING SITE SECTIONS - PLD18-MOLA-XX-XX-DR-A-18-XX181



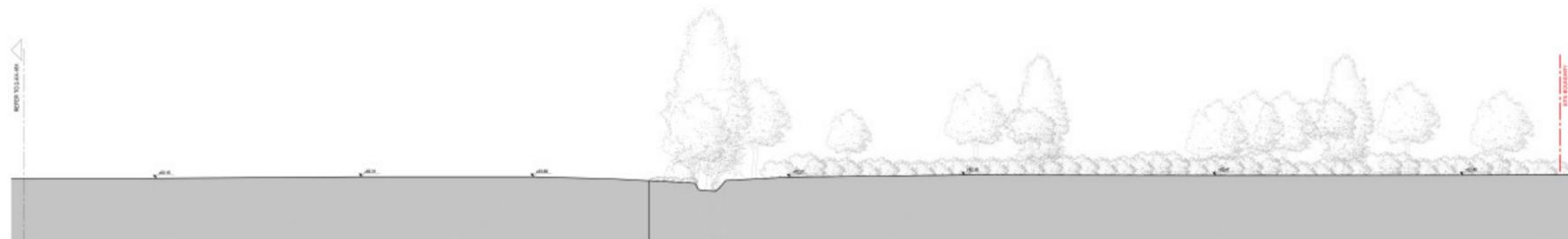
1 EXISTING SITE SECTION AA
SCALE: 1:200



1 KEY PLAN
SCALE: 1:200



2 EXISTING SITE SECTION BB
SCALE: 1:200



1 EXISTING SITE SECTION BB
SCALE: 1:200

NOTES / LEGEND
SITE BOUNDARY

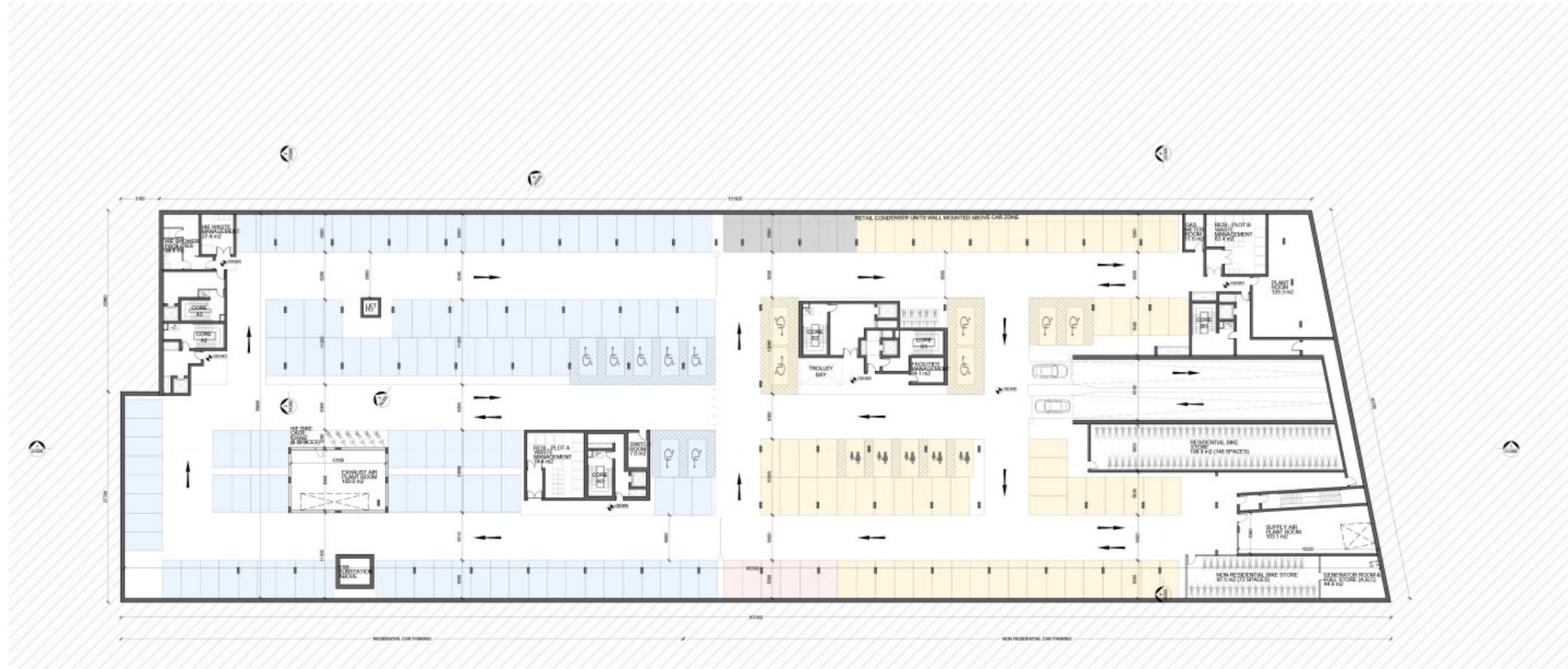
GENERAL NOTES
DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.

Rev	Date	Description	By
1	25/03/22	ISSUED FOR PLANNING	MOLA

MOLA
Consultants
100, 101, 102, 103, 104
105, 106, 107, 108, 109, 110
111, 112, 113, 114, 115, 116, 117, 118, 119, 120
121, 122, 123, 124, 125, 126, 127, 128, 129, 130
131, 132, 133, 134, 135, 136, 137, 138, 139, 140
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171, 172, 173, 174, 175, 176, 177, 178, 179, 180
181, 182, 183, 184, 185, 186, 187, 188, 189, 190
191, 192, 193, 194, 195, 196, 197, 198, 199, 200

Stage	PLANNING
Client	1 CARROWMANS LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	EXISTING SITE SECTIONS
Date	MARCH 2022 1:200 @A3
Scale	1:200
Sheet	PLD18-MOLA-XX-XX-DR-A-18-XX181
Page	P.01

PLOT A, B & C: PROPOSED BASEMENT FLOOR PLAN - PLD18-MOLA-ABC-B1-DR-A-20-ABC200



NOTES / LEGEND

	RESIDENTIAL CAR PARKING 559 NO. SPACES
	RESIDENTIAL VISITOR CAR PARKING 8 NO. SPACES
	RETAIL CAR PARKING 7 NO. SPACES
	RETAIL / NON-RETAIL CAR PARKING 76 NO. SPACES

GENERAL NOTES:

- DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REFERENCES PREPARED BY MOLA AND DESIGN TEAM MEMBERS
- REFER TO ARCHITECT'S DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWS INDICATIVE REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.

Rev	Date	Description	By
01	25/03/22	ISSUED FOR PLANNING	MOLA



Stage	PLANNING
1	CARRIAGES LANE LIMITED
2	PRIORSLAND CHERRYWOOD SHD
3	PLOT A, B & C: PROPOSED BASEMENT FLOOR PLAN
4	MARCH 2022 1:200 @A3
5	PLD18-MOLA-ABC-B1-DR-A-20-ABC200

PLOT A, B & C: PROPOSED GROUND FLOOR PLAN - PLD18-MOLA-ABC-00-DR-A-20-ABC201



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
3 BED APARTMENT (PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
 - REFER TO ARCHITECT'S DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS, LANDSCAPING SHOWINGS INDICATIVE. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.
 - GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 60% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
001	25/03/22	ISSUED FOR PLANNING	MOLA



Stage		PLANNING
Client	MOLA	
Project Name	PRIORSLAND CHERRYWOOD SHD	
Project Address	PLOT A, B & C, PROPOSED GROUND FLOOR PLAN	
Issue Date	MARCH 2022 1:20 (AM)	
Issue No.	PLD18-MOLA-ABC-00-DR-A-20-ABC201	

PLOT A, B & C: PROPOSED FIRST FLOOR PLAN - PLD18-MOLA-ABC-01-DR-A-20-ABC202



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
3 BED APARTMENT (PERSON)			
3 BED APARTMENT			

GENERAL NOTES:
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 - REFER TO ARCHITECT'S DRAWINGS FOR FURTHER INFORMATION ON PROPOSED MATERIALS, LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.
 - GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 6% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
01	25/03/22	ISSUED FOR PLANNING	MOLA



Stage		PLANNING
Client	1 CARRICHONES LAND LIMITED	
Location	PRIORSLAND CHERRYWOOD SHD	
Project	PLOT A, B & C, PROPOSED FIRST FLOOR PLAN	
Date	MARCH 2022 1:20 (AM)	
Scale	1:500	
Sheet	PLD18-MOLA-ABC-01-DR-A-20-ABC202	P.01

PLOT A, B & C: PROPOSED SECOND FLOOR PLAN - PLD18-MOLA-ABC-02-DR-A-20-ABC203



REFER TO DWG. PLD18-MOLA-FG-02-DR-A-XX-FG202

REFER TO DWG. PLD18-MOLA-DE-02-DR-A-XX-DE202

NOTES / LEGEND

 1 BED APARTMENT	 RESIDENTIAL FACILITIES	 RETAIL	 3 BED HOUSE
 2 BED APARTMENT (PERSON)	 COMMUNITY FACILITIES	 NON RETAIL USES	 4 BED HOUSE
 3 BED APARTMENT (PERSON)	 HIGH INTENSITY EMPLOYMENT		
 3 BED APARTMENT			

GENERAL NOTES:
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 - GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 6% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
01	25/03/22	ISSUED FOR PLANNING	MOLA



PLANNING	
Client	1 CARRICHONES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT A, B & C: PROPOSED SECOND FLOOR PLAN
Date	MARCH 2022 1:20 (A)
Scale	1:500
Sheet	PLD18-MOLA-ABC-02-DR-A-20-ABC203
Page	P.01

PLOT A, B & C: PROPOSED THIRD FLOOR PLAN - PLD18-MOLA-ABC-03-DR-A-20-ABC204



REFER TO DWG. PLD18-MOLA-FG-03-DR-A-XX-FG203

REFER TO DWG. PLD18-MOLA-DE-03-DR-A-XX-DE203

NOTES / LEGEND

 1 BED APARTMENT	 RESIDENTIAL FACILITIES	 RETAIL	 3 BED HOUSE
 2 BED APARTMENT (PERSON)	 COMMUNITY FACILITIES	 NON RETAIL USES	 4 BED HOUSE
 3 BED APARTMENT (PERSON)	 HIGH INTENSITY EMPLOYMENT		
 3 BED APARTMENT			

GENERAL NOTES:

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- GREEN ROOF SHOWN IS INDICATIVE. PROVISION TO MEET MINIMUM OF 6% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
01	25/03/2022	ISSUED FOR PLANNING	MOLA



PLANNING	
Client	1 CARRICHOMES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT A, B & C: PROPOSED THIRD FLOOR PLAN
Date	MARCH 2022 1:200 (A3)
Scale	1:200
Sheet	PLD18-MOLA-ABC-03-DR-A-20-ABC204
Page	P.01

PLOT A, B & C: PROPOSED FOURTH FLOOR PLAN - PLD18-MOLA-ABC-04-DR-A-20-ABC205



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (PERSON)		HIGH-INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:
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 - GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 60% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
PLD18MOLA002	09/02/2018	FOR PLANNING	MOLA



PLANNING	
Client	1 CARRICHONES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT A, B & C: PROPOSED FOURTH FLOOR PLAN
Date	MARCH 2022 1:20 (A)
Scale	1:500
Sheet	PLD18-MOLA-ABC-04-DR-A-20-ABC205
Page	P.01

PLOT A, B & C: PROPOSED ROOF PLAN - PLD18-MOLA-ABC-RF-DR-A-20-ABC206



REFER TO DWG. PLD18-MOLA-FG-RF-DR-A-XX-FG205

REFER TO DWG. PLD18-MOLA-DE-RF-DR-A-XX-DE205

NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:

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- GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 6% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
001	25/03/2022	ISSUED FOR PLANNING	MOLA



Stage		PLANNING
1	CARTRICHES LAND LIMITED	
	PRIORSLAND CHERRYWOOD SHD	
	PLOT A, B & C: PROPOSED ROOF PLAN	
	MARCH 2022 1:200 (A3)	
	PLD18-MOLA-ABC-RF-DR-A-20-ABC206	P.01

PLOT D & E: PROPOSED GROUND FLOOR PLAN - PLD18-MOLA-DE-00-DR-A-20-DE200



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES
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 - GREEN ROOF SHOWN IS INDICATIVE. PROVISION TO MEET MINIMUM OF 8% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
01	25/03/22	ISSUED FOR PLANNING	MOLA



Client	Project Name	Sheet No.	Total Sheets
PRIORSLAND CHERRYWOOD SHD	PLOT D & E: PROPOSED GROUND FLOOR PLAN	1/20	20

DATE: MARCH 2022 1:29 @A1

PLOT D & E: PROPOSED FIRST FLOOR PLAN - PLD18-MOLA-DE-01-DR-A-20-DE201



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (4 PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:

- DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
- REFER TO ARCHITECT'S SPECIFICATION FOR FURTHER INFORMATION ON PROPOSED MATERIALS, LANDSCAPING SCHEDULES INDICATIVE. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.
- GREEN ROOF % SHOWN IS INDICATIVE. PROVISION TO MEET MINIMUM OF 60% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
PLD18-MOLA-DE-01-DR-A-20-DE201			



Stage		PLANNING	
1	CARRIAGES LANE LIMITED		
	PRIORSLAND CHERRYWOOD SHD		
	PLOT D & E: PROPOSED FIRST FLOOR PLAN		
	MARCH 2022 1:200 @A1		
	PLD18-MOLA-DE-01-DR-A-20-DE201		

PLOT D & E: PROPOSED SECOND FLOOR PLAN - PLD18-MOLA-DE-02-DR-A-20-DE202



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (4 PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
 - REFER TO ARCHITECT'S SPECIFICATION FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
 - LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.
 - GREEN ROOF SHOWN IS INDICATIVE. PROVISION TO MEET MINIMUM OF 6% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
01	25/03/22	ISSUED FOR PLANNING	MOLA



Stage	PLANNING
Client	1 CARRICHONES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT D & E: PROPOSED SECOND FLOOR PLAN
Date	MARCH 2022 1:20 (A1)
Scale	1:500
Sheet	PLD18-MOLA-DE-02-DR-A-20-DE202
Page	1 of 1

PLOT D & E: PROPOSED THIRD FLOOR PLAN - PLD18-MOLA-DE-03-DR-A-20-DE203



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
 - REFER TO ARCHITECT'S DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS, LANDSCAPING SHOWINGS INDICATIVE. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.
 - GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 6% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
01	25/03/22	ISSUED FOR PLANNING	MOLA



Client	Project Name	Stage
1 CARRICHOMES LAND LIMITED	PRIORSLAND CHERRYWOOD SHD	PLANNING
	PLOT D & E: PROPOSED THIRD FLOOR PLAN	
	MARCH 2022 1:250 @A1	
	PLD18-MOLA-DE-03-DR-A-20-DE203	P.01

PLOT D & E: PROPOSED FOURTH FLOOR PLAN - PLD18-MOLA-DE-04-DR-A-20-DE204



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
 - REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS, LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.
 - GREEN ROOF SUCH AS INDICATIVE. PROVISION TO MEET MINIMUM OF 60% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
PLD18-MOLA-ABC-04-DR-A-XX-ABC204			



Stage	PLANNING
1	CARRONNES LAND LIMITED
	PRIORSLAND CHERRYWOOD SHD
	PLOT D & E: PROPOSED FOURTH FLOOR PLAN
	MARCH 2022 1:200 @A1
	PLD18-MOLA-DE-04-DR-A-20-DE204

PLOT D & E: PROPOSED ROOF PLAN - PLD18-MOLA-DE-RF-DR-A-20-DE205



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
 - REFER TO ARCHITECT'S DRAWINGS FOR FURTHER INFORMATION ON PROPOSED MATERIALS, LANDSCAPING SHOWINGS INDICATIVE. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.
 - GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 60% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
PLD18MOLA-DE-RF-DR-A-20-DE205	09/02/2018	PLANNING	MOLA



PLANNING	
Client	1 CARRONNES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT D & E: PROPOSED ROOF PLAN
Date	MARCH 2022 1:20 @A3
Scale	1:500
Sheet	PLD18MOLA-DE-RF-DR-A-20-DE205
Page	P.01

PLOT F & G: PROPOSED GROUND FLOOR PLAN - PLD18-MOLA-FG-00-DR-A-20-FG200



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (PERSON)			
3 BED APARTMENT			

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
 - REFER TO ARCHITECT'S DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS, LANDSCAPING SHOWINGS INDICATIVE. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.
 - GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 6% OF TOTAL PLOT ROOF AREA.



Rev	Date	Description	By
PLD18MOLA000	09/02/2018	FOR PLANNING	MOLA



Stage	PLANNING
1	CARRBOROUGH LAND LIMITED
	PRIORSLAND CHERRYWOOD SHD
	PLOT F & G PROPOSED GROUND FLOOR PLAN
	MARCH 2022 1:250 @A1
	PLD18MOLA-FG-00-DR-A-20-FG200

PLOT F & G: PROPOSED FIRST FLOOR PLAN - PLD18-MOLA-FG-01-DR-A-20-FG201



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (1 PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (4 PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:

- DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
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- GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 6% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
01	25/03/22	ISSUED FOR PLANNING	MOLA

MOLA CONSULTANTS

PLANNING

1 CARRBOROUGH LAND LIMITED

PRIORSLAND CHERRYWOOD SHD

PLOT F & G PROPOSED FIRST FLOOR PLAN

MARCH 2022 1:250 @A1

PLD18-MOLA-FG-01-DR-A-20-FG201

PLOT F & G: PROPOSED THIRD FLOOR PLAN - PLD18-MOLA-FG-03-DR-A-20-FG203



PLOT F & G: PROPOSED FOURTH FLOOR PLAN - PLD18-MOLA-FG-04-DR-A-20-FG204



NOTES / LEGEND

1 BED APARTMENT	RESIDENTIAL FACILITIES	RETAIL	3 BED HOUSE
2 BED APARTMENT (PERSON)	COMMUNITY FACILITIES	NON RETAIL USES	4 BED HOUSE
2 BED APARTMENT (4 PERSON)		HIGH INTENSITY EMPLOYMENT	
3 BED APARTMENT			

GENERAL NOTES:

- DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
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- GREEN ROOF SHOW IS INDICATIVE. PROVISION TO MEET MINIMUM OF 60% OF TOTAL PLOT ROOF AREA.

Rev	Date	Description	By
01	25/03/22	ISSUED FOR PLANNING	MOLA

MOLA CONSULTANTS

1 CARRBOROUGH LAND LIMITED

PRIORSLAND CHERRYWOOD SHD

PLOT F & G PROPOSED FOURTH FLOOR PLAN

MARCH 2022 1:200 @A1

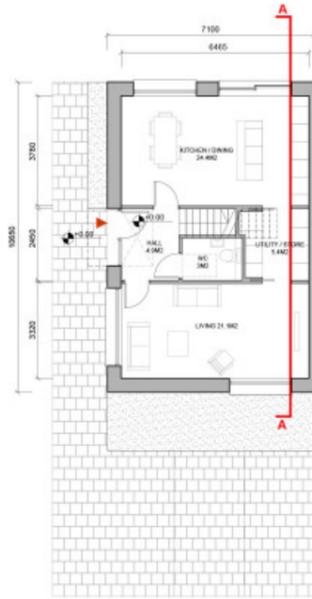
PLD18-MOLA-FG-04-DR-A-20-FG204 P.01

PLOT F & G: PROPOSED ROOF PLAN - PLD18-MOLA-FG-RF-DR-A-20-FG205



PLOT G: HOUSE T1- PROPOSED PLANS, ELEVATIONS, SECTIONS - PLD18-MOLA-G-XX-DR-A-26-G260

HOUSE TYPE 1 - 4 BED END TERRACE



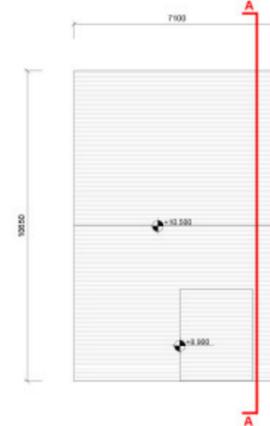
1 TYPE 1 - GROUND FLOOR PLAN
SCALE: 1:100



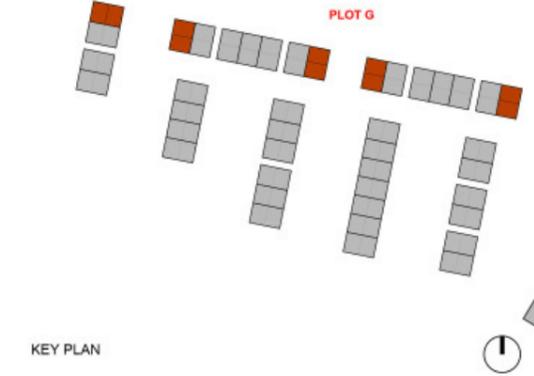
2 TYPE 1 - FIRST FLOOR PLAN
SCALE: 1:100



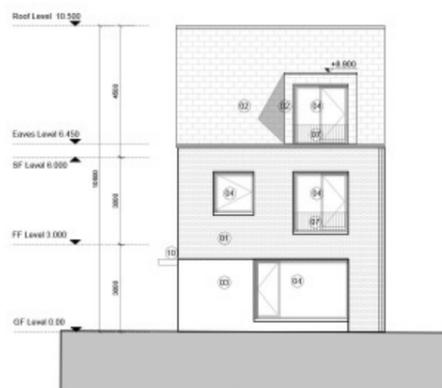
3 TYPE 1 - SECOND FLOOR PLAN
SCALE: 1:100



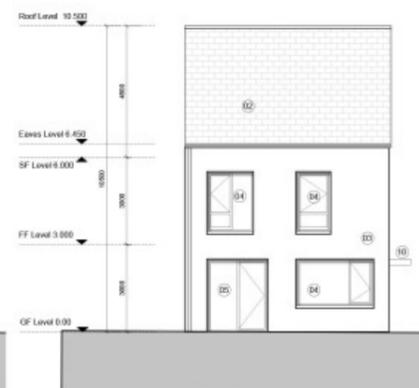
4 TYPE 1 - ROOF PLAN
SCALE: 1:100



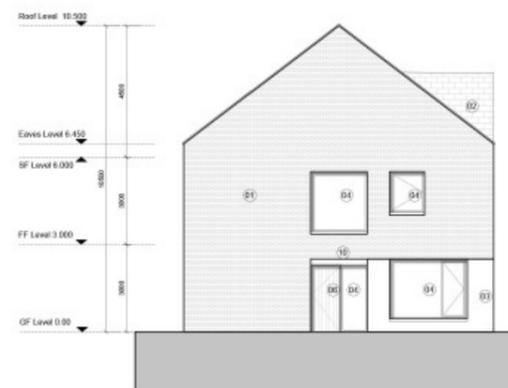
KEY PLAN



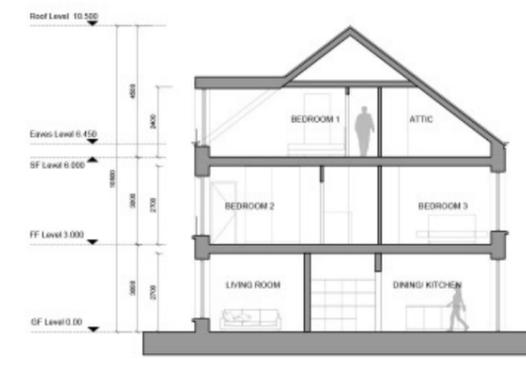
5 TYPE 1 - FRONT ELEVATION
SCALE: 1:100



6 TYPE 1 - REAR ELEVATION
SCALE: 1:100



7 TYPE 1 - SIDE ELEVATION
SCALE: 1:100



8 TYPE 1 - SECTION AA
SCALE: 1:100

NOTES / LEGEND

- 01 BRICKWORK FOR BRICKWORK TONE REFER TO CONTIGUOUS ELEVATIONS
- 02 SLATE ROOF TILE
- 03 SELF FINISH RENDER TO SELECTED COLOUR FINISH
- 04 DOUBLE GLAZED WINDOW UNIT WITH FRAMES TO SELECTED COLOUR FINISH
- 05 DOUBLE GLAZED SLIDING DOOR WITH FRAMES TO SELECTED COLOUR FINISH
- 06 TIMBER ENTRANCE DOOR TO SELECTED COLOUR FINISH
- 07 METAL RAILING TO SELECTED COLOUR FINISH
- 08 TIMBER PRIVACY FENCE / GATE
- 09 3M-HIGH IMPERFORATE ACOUSTIC BARRIER
- 10 METAL CLAD CANOPY TO SELECTED COLOUR FINISH
- 11 BRICKWORK SELF COLOURED RENDER FINISH TO SELECTED COLOUR FINISH

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
 - THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 18M (VILLAGE CENTRE) AND 16M (RES 2 / RES 3) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SDZ.

- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
 - REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
 - LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

Key Plan



Rev	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

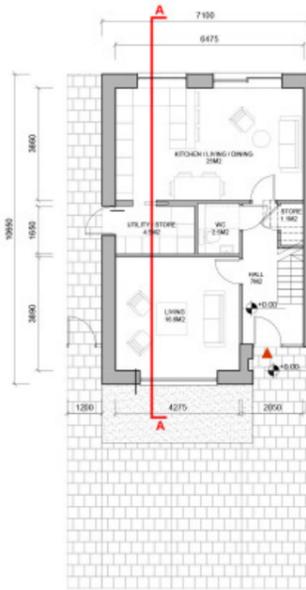
MOLA 2 Downbank Road, Carrickmines, Dublin 4, Ireland. Telephone: +353 1 238 3969. www.molarchitects.com

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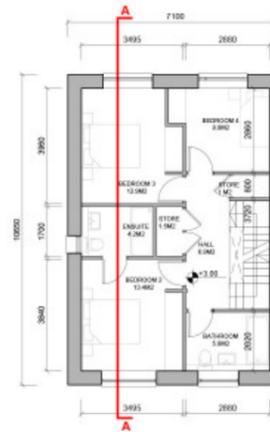
Stage		PLANNING	
Client	1 CARRICKMINES LAND LIMITED	Project	PRIORSLAND CHERRYWOOD SHD
Drawn	PLOT G: HOUSE T1- PROPOSED PLANS, ELEVATIONS, SECTIONS	Date	MARCH 2022
Scale	1:100 @A1	Revision	18029
Drawing No.	PLD18-MOLA-G-XX-DR-A-26-G260	Status	Rev: 01
		Revision	P-01

PLOT G: HOUSE T2- PROPOSED PLANS, ELEVATIONS, SECTIONS - PLD18-MOLA-G-XX-DR-A-26-G261

HOUSE TYPE 2 - 4 BED SEMI DETACHED



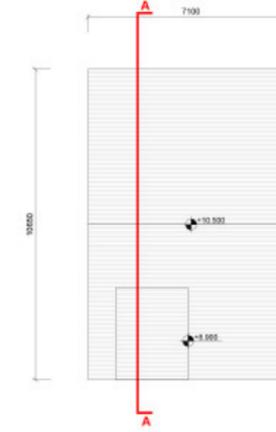
1 TYPE 2 - GROUND FLOOR PLAN
G 261 SCALE: 1:100



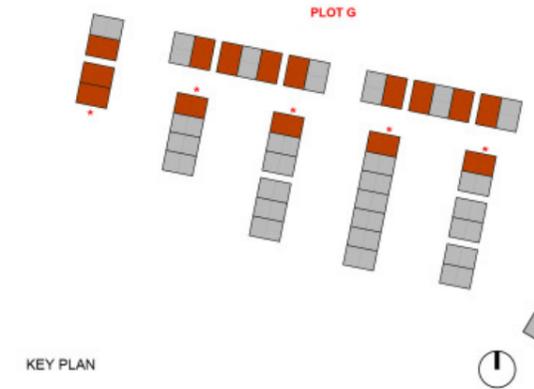
2 TYPE 2 - FIRST FLOOR PLAN
G 261 SCALE: 1:100



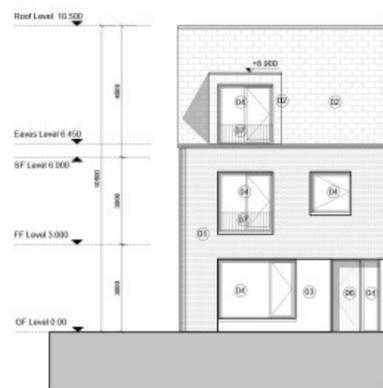
3 TYPE 2 - SECOND FLOOR PLAN
G 261 SCALE: 1:100



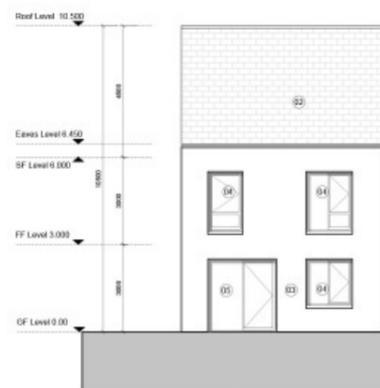
4 TYPE 2 - ROOF PLAN
G 261 SCALE: 1:100



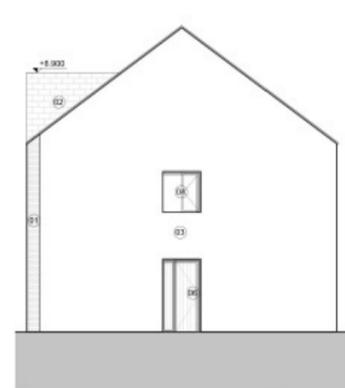
KEY PLAN



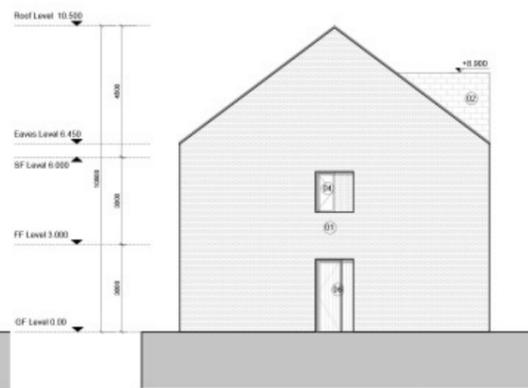
5 TYPE 2 - FRONT ELEVATION
G 261 SCALE: 1:100



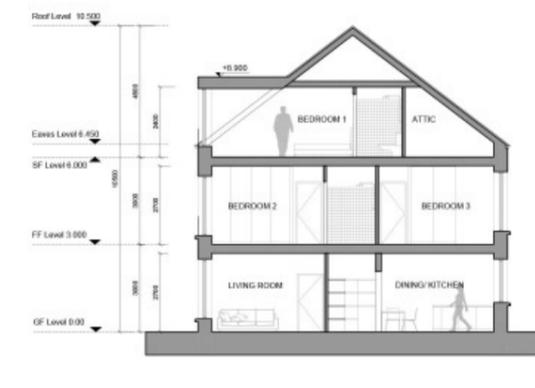
6 TYPE 2 - REAR ELEVATION
G 261 SCALE: 1:100



7 TYPE 2 - SIDE ELEVATION
SCALE: 1:100
HOUSES NO. G4, G8, G16, G28, G36 GABLE WALL ELEVATION FINISH WITH SELF FINISH RENDER



8 TYPE 2 - SIDE ELEVATION
SCALE: 1:100
HOUSES NO. G4, G8, G16, G28, G36 GABLE WALL ELEVATION FINISHED WITH BRICKWORK



9 TYPE 2 - SECTION AA
G 261 SCALE: 1:100

NOTES / LEGEND

- 01 BRICKWORK FOR BRICKWORK TONE REFER TO CONTIGUOUS ELEVATIONS
- 02 SLATE ROOF TILE
- 03 SELF FINISH RENDER TO SELECTED COLOUR FINISH
- 04 DOUBLE GLAZED WINDOW UNIT WITH FRAMES TO SELECTED COLOUR FINISH
- 05 DOUBLE GLAZED SLIDING DOOR WITH FRAMES TO SELECTED COLOUR FINISH
- 06 TIMBER ENTRANCE DOOR TO SELECTED COLOUR FINISH
- 07 METAL RAILING TO SELECTED COLOUR FINISH
- 08 TIMBER PRIVACY FENCE / GATE
- 09 3M HIGH IMPERFORATE ACOUSTIC BARRIER
- 10 METAL CLAD CANOPY TO SELECTED COLOUR FINISH
- 11 BN STORE, SELF COLOURED RENDER FINISH TO SELECTED COLOUR FINISH

GENERAL NOTES:

- DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
- THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 18M (VILLAGE CENTRE) AND 16M (RES 2 / RES 3) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SDZ.

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- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

Key Plan



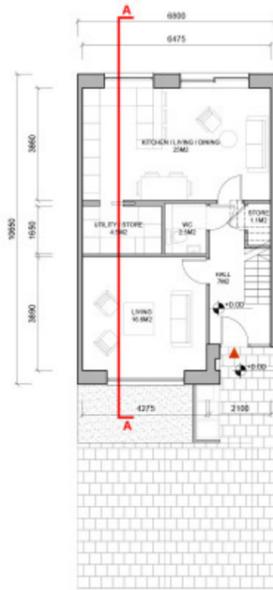
Rev	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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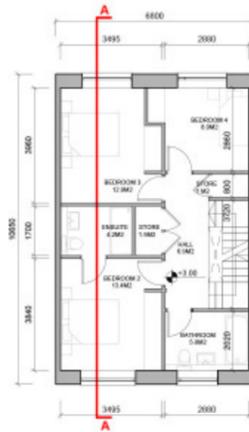
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Stage	
PLANNING	1 CARRICKMINES LAND LIMITED
Client	PRIORSLAND CHERRYWOOD SHD
Project	PLOT G: HOUSE T2- PROPOSED PLANS, ELEVATIONS, SECTIONS
Drawn	MARCH 2022 1:100 @A1
Scale	18029
Drawing No.	PLD18-MOLA-G-XX-DR-A-26-G261
Status	P-01

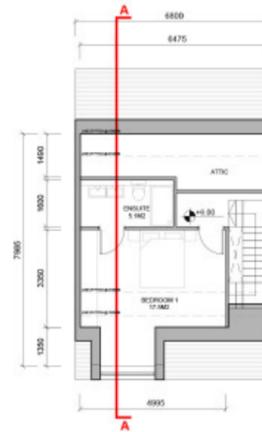
HOUSE TYPE 3 - 4 BED MID TERRACE



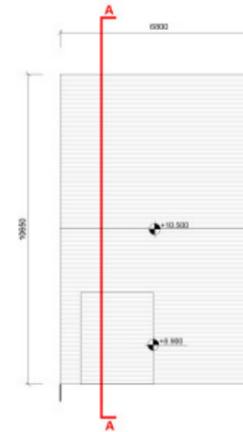
1 TYPE 3 - GROUND FLOOR PLAN
G 262 SCALE: 1:100



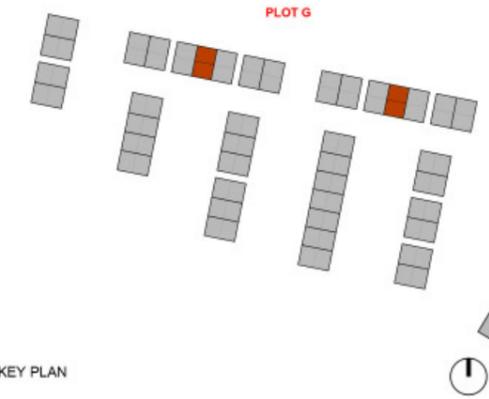
2 TYPE 3 - FIRST FLOOR PLAN
G 262 SCALE: 1:100



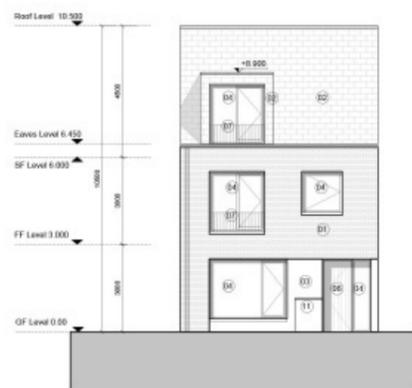
3 TYPE 3 - SECOND FLOOR PLAN
G 262 SCALE: 1:100



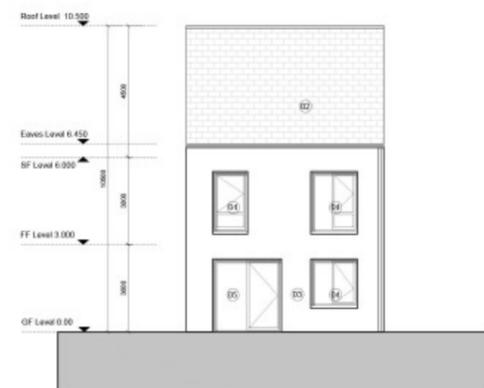
4 TYPE 3 - ROOF PLAN
G 262 SCALE: 1:100



KEY PLAN



5 TYPE 3 - FRONT ELEVATION
G 262 SCALE: 1:100



6 TYPE 3 - REAR ELEVATION
G 262 SCALE: 1:100



7 TYPE 3 - SECTION AA
G 262 SCALE: 1:100

NOTES / LEGEND

- 01 BRICKWORK FOR BRICKWORK TONE REFER TO CONTIGUOUS ELEVATIONS
- 02 SLATE ROOF TILE
- 03 SELF FINISH RENDER TO SELECTED COLOUR FINISH
- 04 DOUBLE GLAZED WINDOW UNIT WITH FRAMES TO SELECTED COLOUR FINISH
- 05 DOUBLE GLAZED SLIDING DOOR WITH FRAMES TO SELECTED COLOUR FINISH
- 06 TIMBER ENTRANCE DOOR TO SELECTED COLOUR FINISH
- 07 METAL RAILING TO SELECTED COLOUR FINISH
- 08 TIMBER PRIVACY FENCE / GATE
- 09 3M HIGH IMPERFORATE ACOUSTIC BARRIER
- 10 METAL CLAD CANOPY TO SELECTED COLOUR FINISH
- 11 BIN STORE, SELF COLOURED RENDER FINISH TO SELECTED COLOUR FINISH

GENERAL NOTES:

- DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
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- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

Key Plan



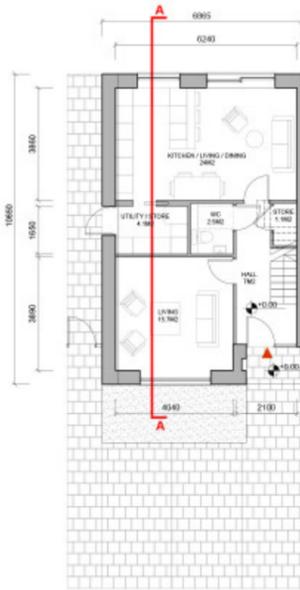
Rev	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

MOLA 2 Dromore Road, Carrickmines, Dublin 4, Ireland. Telephone: +353 1 218 9989. www.molarchitects.com

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Stage		PLANNING	
Client	1 CARRICKMINES LAND LIMITED	Project	PRIORSLAND CHERRYWOOD SHD
Drawn	PLOT G: HOUSE T3 - PROPOSED PLANS, ELEVATIONS, SECTIONS	Scale	1:100 @A1
Date	MARCH 2022	Revision	18029
Drawing No.	PLD18-MOLA-G-XX-DR-A-26-G262	Status	P-01

HOUSE TYPE 4 - 3 BED SEMI DETACHED



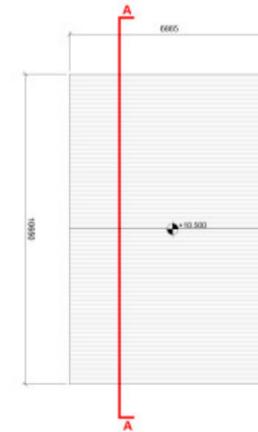
1 TYPE 4 - GROUND FLOOR PLAN
G.263 SCALE: 1:100



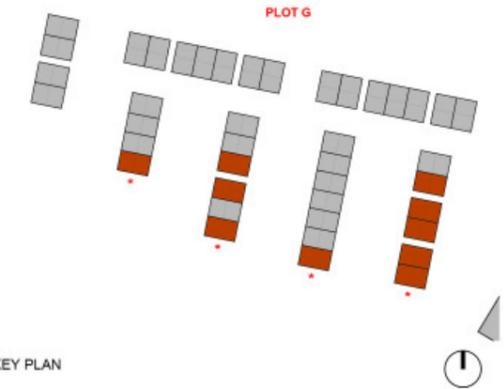
2 TYPE 4 - FIRST FLOOR PLAN
G.263 SCALE: 1:100



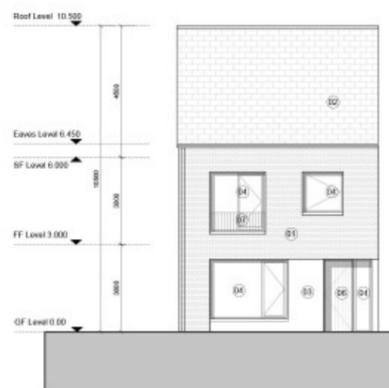
3 TYPE 4 - SECOND FLOOR PLAN
G.263 SCALE: 1:100



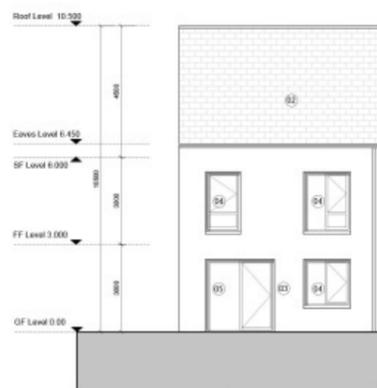
4 TYPE 4 - ROOF PLAN
G.263 SCALE: 1:100



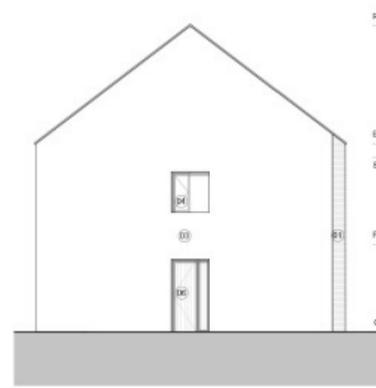
KEY PLAN



5 TYPE 4 - FRONT ELEVATION
G.263 SCALE: 1:100



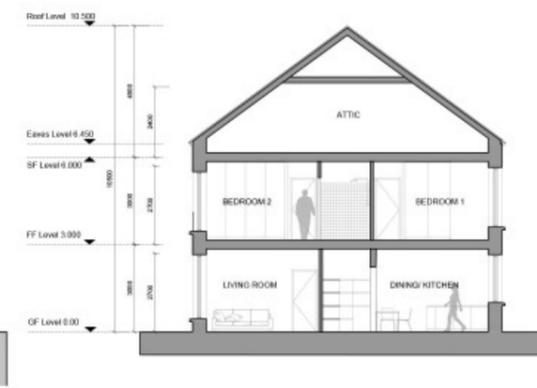
6 TYPE 4 - REAR ELEVATION
G.263 SCALE: 1:100



7 TYPE 4 - REAR ELEVATION
G.263 SCALE: 1:100
HOUSES NO. G18, G19, G37, G38, G39, G40 GABLE WALL ELEVATION FINISH WITH SELF FINISH RENDER



8 TYPE 4 - REAR ELEVATION
G.263 SCALE: 1:100
HOUSES NO. G5, G21, G22, G41, GABLE WALL ELEVATION FINISH WITH BRICKWORK



9 TYPE 4 - SECTION AA
G.263 SCALE: 1:100

NOTES / LEGEND

- 01 BRICKWORK FOR BRICKWORK TONE REFER TO CONTIGUOUS ELEVATIONS
- 02 SLATE ROOF TILE
- 03 SELF FINISH RENDER TO SELECTED COLOUR FINISH
- 04 DOUBLE GLAZED WINDOW UNIT WITH FRAMES TO SELECTED COLOUR FINISH
- 05 DOUBLE GLAZED SLIDING DOOR WITH FRAMES TO SELECTED COLOUR FINISH
- 06 TIMBER ENTRANCE DOOR TO SELECTED COLOUR FINISH
- 07 METAL RAILING TO SELECTED COLOUR FINISH
- 08 TIMBER PRIVACY FENCE / GATE
- 09 3M HIGH IMPERFORATE ACOUSTIC BARRIER
- 10 METAL CLAD CANOPY TO SELECTED COLOUR FINISH
- 11 SW STORE, SELF COLOURED RENDER FINISH TO SELECTED COLOUR FINISH

GENERAL NOTES:
- DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
- THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 18M (VILLAGE CENTRE) AND 16M (RES 2 / RES 3) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SDZ.

- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
- REFER TO 'ARCHITECTS DESIGN REPORT' FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

Key Plan



Rev	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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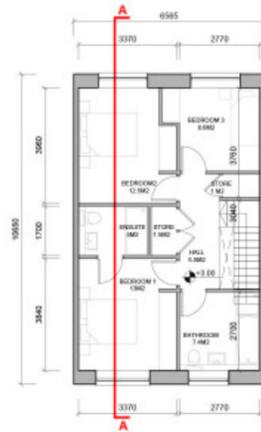
Stage		PLANNING	
Client	1 CARRICKMINES LAND LIMITED	Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT G: HOUSE T4 - PROPOSED PLANS, ELEVATIONS, SECTIONS	Scale	1:100 @A1
Date	MARCH 2022	Rev	18029
Drawing No.	PLD18-MOLA-G-XX-DR-A-26-G263	Status	Revision
			P-01

PLOT G: HOUSE T5- PROPOSED PLANS, ELEVATIONS, SECTIONS - PLD18-MOLA-G-XX-DR-A-26-G264

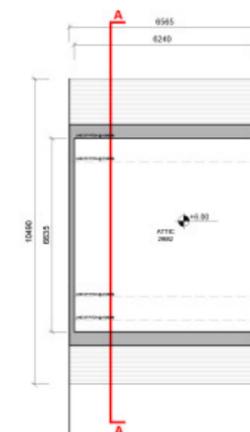
HOUSE TYPE 5 - 3 BED MID TERRACE



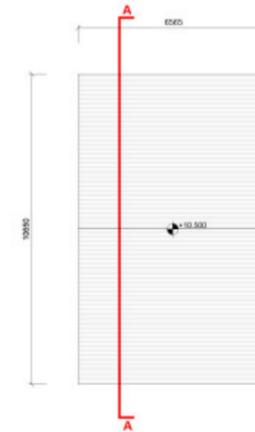
1 TYPE 5 - GROUND FLOOR PLAN
G 264 SCALE: 1:100



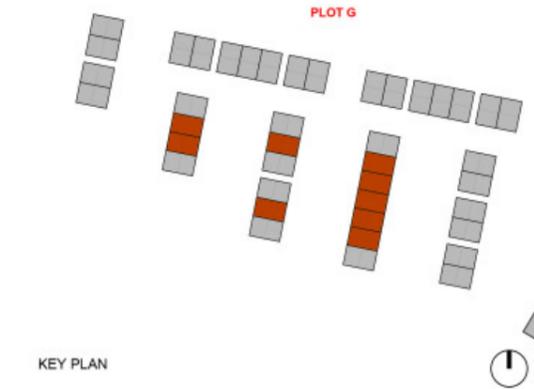
2 TYPE 5 - FIRST FLOOR PLAN
G 264 SCALE: 1:100



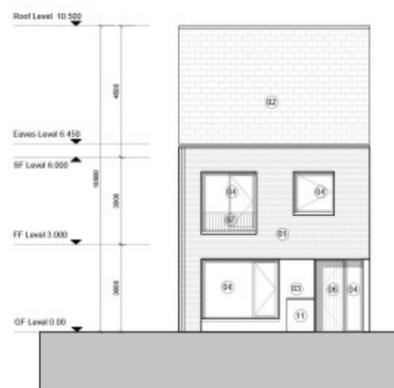
3 TYPE 5 - SECOND FLOOR PLAN
G 264 SCALE: 1:100



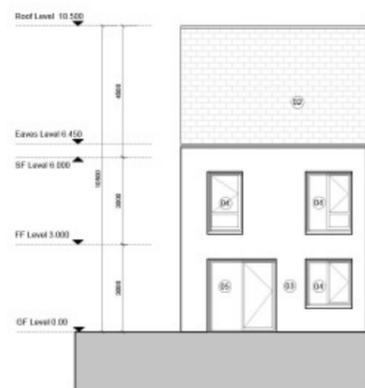
4 TYPE 5 - ROOF PLAN
G 264 SCALE: 1:100



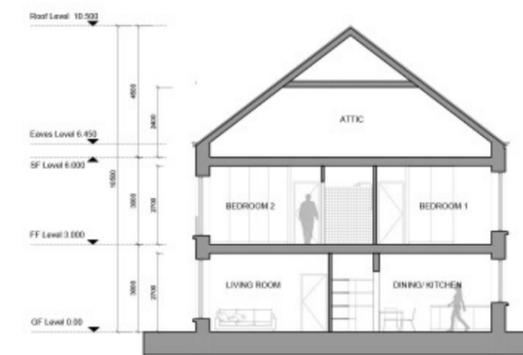
KEY PLAN



5 TYPE 5 - FRONT ELEVATION
G 264 SCALE: 1:100



6 TYPE 5 - REAR ELEVATION
G 264 SCALE: 1:100



7 TYPE 5 - SECTION AA
G 264 SCALE: 1:100

NOTES / LEGEND

- 01 BRICKWORK FOR BRICKWORK TONE REFER TO CONTIGUOUS ELEVATIONS
- 02 SLATE ROOF TILE
- 03 SELF FINISH RENDER TO SELECTED COLOUR FINISH
- 04 DOUBLE GLAZED WINDOW UNIT WITH FRAMES TO SELECTED COLOUR FINISH
- 05 DOUBLE GLAZED SLIDING DOOR WITH FRAMES TO SELECTED COLOUR FINISH
- 06 TIMBER ENTRANCE DOOR TO SELECTED COLOUR FINISH
- 07 METAL RAILING TO SELECTED COLOUR FINISH
- 08 TIMBER PRIVACY FENCE / GATE
- 09 3M HIGH IMPERFORATE ACOUSTIC BARRIER
- 10 METAL CLAD CANOPY TO SELECTED COLOUR FINISH
- 11 BN STORE SELF COLOURED RENDER FINISH TO SELECTED COLOUR FINISH

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
 - THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 18M (VILLAGE CENTRE) AND 16M (RES 2 / RES 3) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SDZ.

- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
 - REFER TO 'ARCHITECTS DESIGN REPORT' FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
 - LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.



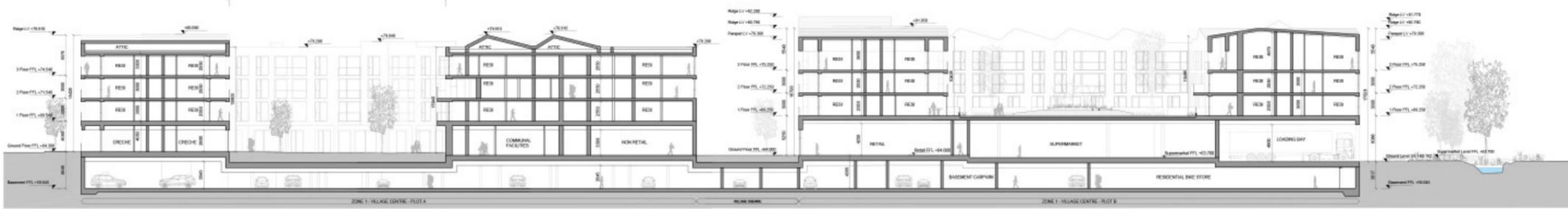
Rev	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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Stage		PLANNING	
Client	1 CARRICKMINES LAND LIMITED		
Project	PRIORSLAND CHERRYWOOD SHD		
Drawing	PLOT G: HOUSE T5 - PROPOSED PLANS, ELEVATIONS, SECTIONS		
Date	MARCH 2022	Scale	1:100 @A1
Drawing No.	PLD18-MOLA-G-XX-DR-A-26-G264	Status	18029
		Revision	P-01

PLOT A, B, C, D, E & F: PROPOSED BUILDING SECTIONS - PLD18-MOLA-ABC-XX-DR-A-30-XX300



SECTION A-A
PLOT A, B SCALE 1:200



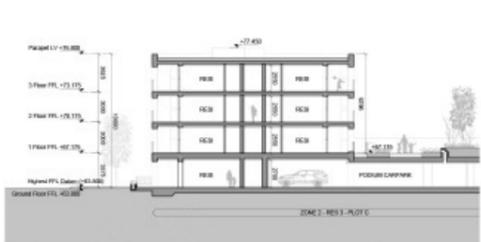
SECTION B-B
PLOT A SCALE 1:200



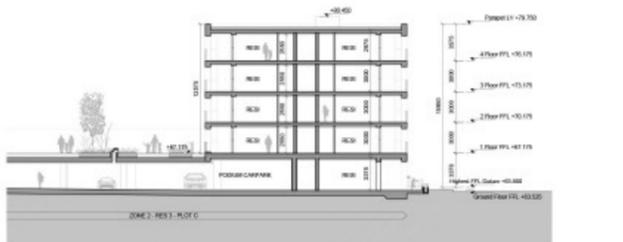
SECTION C-C
PLOT A SCALE 1:200



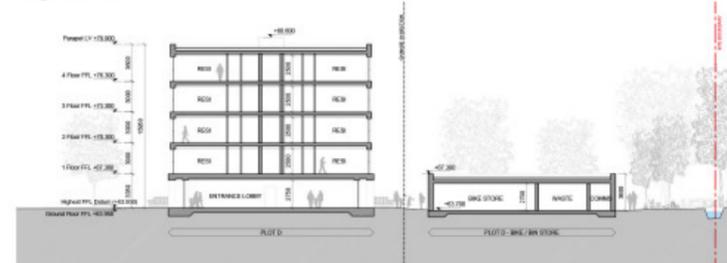
SECTION D-D
PLOT B SCALE 1:200



SECTION E-E
PLOT C SCALE 1:200



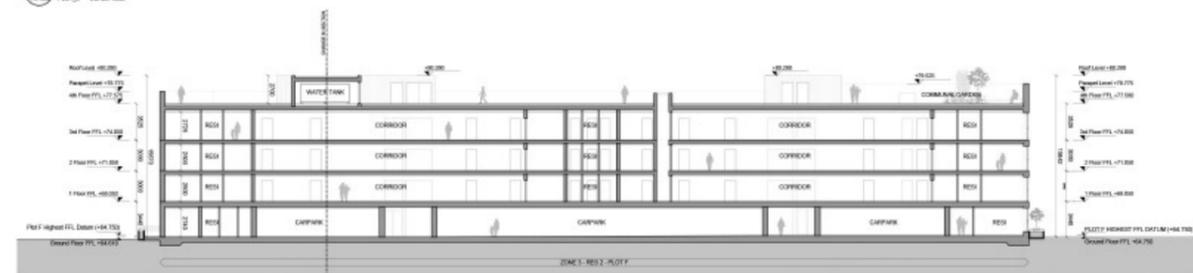
SECTION F-F
PLOT C SCALE 1:200



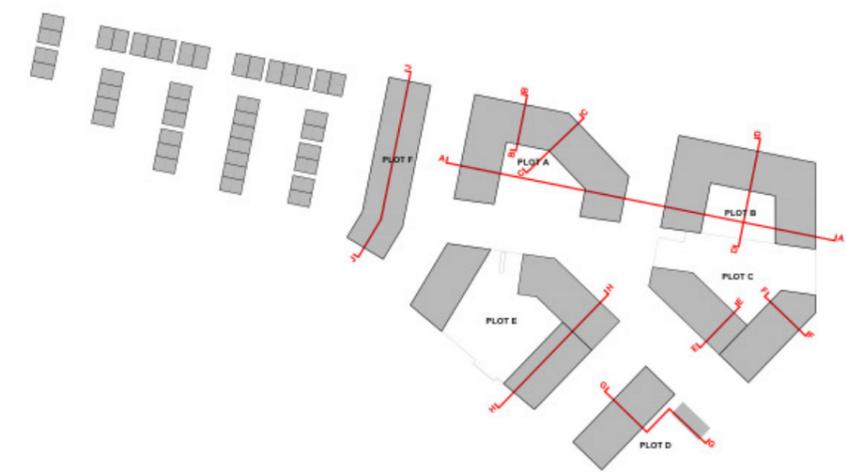
SECTION G-G
PLOT D SCALE 1:200



SECTION H-H
PLOT E SCALE 1:200



SECTION J-J
PLOT F SCALE 1:200



KEY PLAN

NOTES / LEGEND

GENERAL NOTES:
DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 10M (MILWAUKEE CODE) AND 10M (RES 2 / RES 3) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SHD.

REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

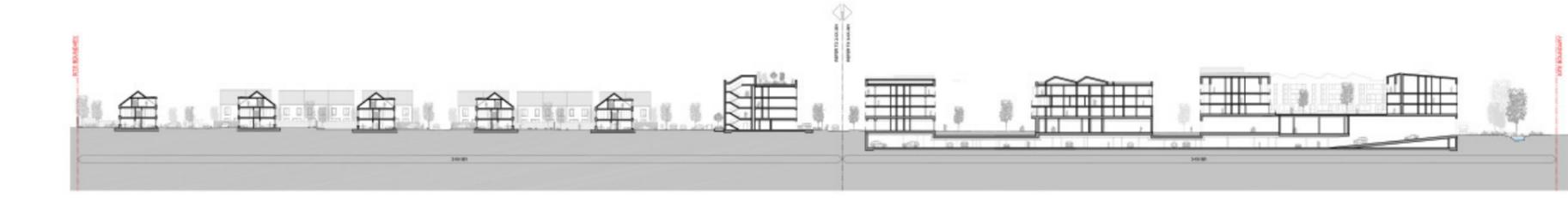
Rev	Date	Description	By
01	25/03/2022	ISSUED FOR PLANNING	MOLA

MOLA Commercial Real Estate

PLANNING

1 CARRICHONES LAND LIMITED
PRIORSLAND CHERRYWOOD SHD
PLOT A, B, C, D, E & F: PROPOSED BUILDING SECTIONS
MARCH 2022 1:200 / 1:100 @A0
PLD18-MOLA-ABC-XX-DR-A-30-XX300 P.01

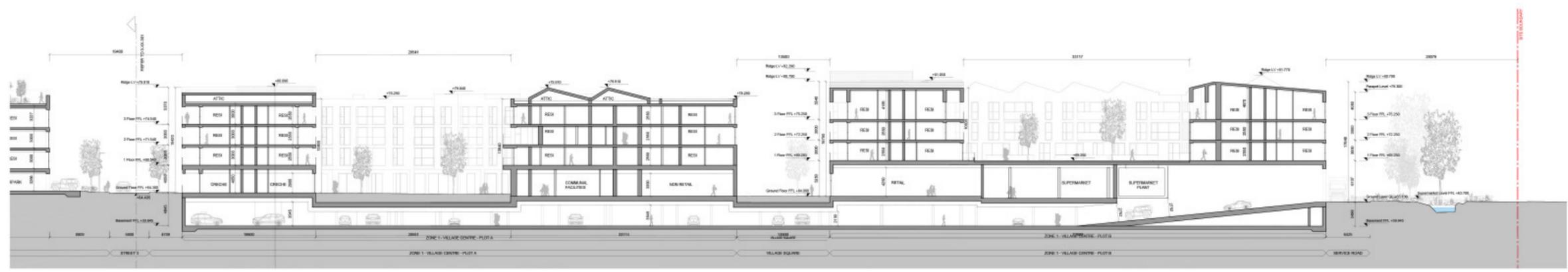
PROPOSED SITE SECTION A-A - PLD18-MOLA-XX-XX-DR-A-30-XX301



SITE SECTION A-A
SCALE: 1:50



SITE SECTION A-A
SCALE: 1:50



SITE SECTION A-A
SCALE: 1:50

NOTES / LEGEND

- GENERAL NOTES: DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
- THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 18M (MILWAUKEE CONTROL AND TOWERED 2.102.3) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SHD.
- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
- REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

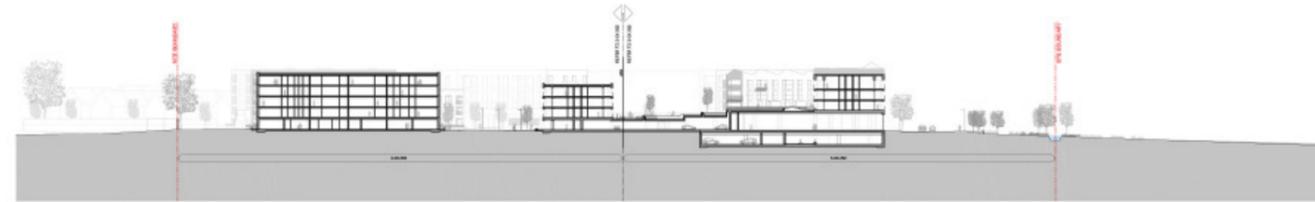


Rev	Date	Description	By
PLD18MOLA-XX-XX-DR-A-30-XX301-PLANNING			MOLA

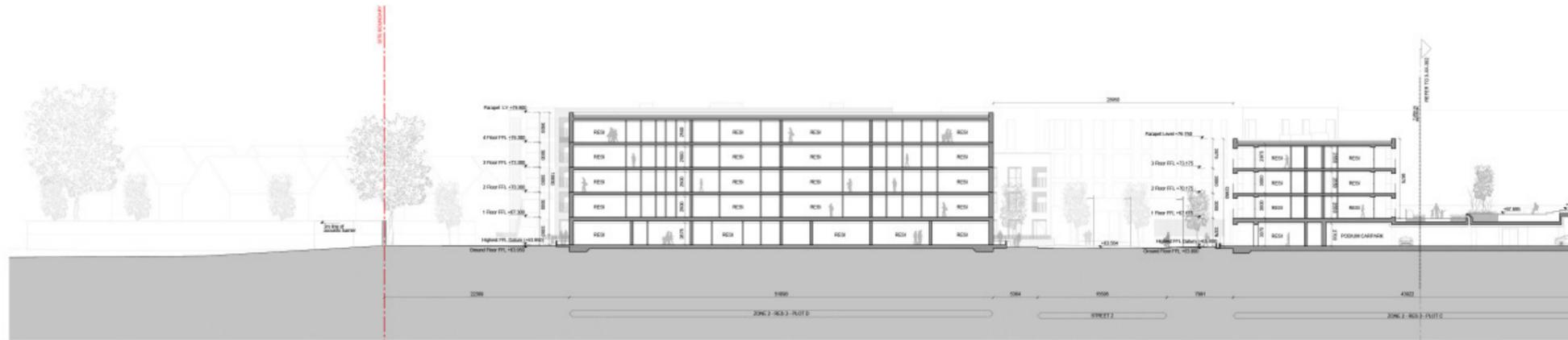


PLANNING	
Client:	1 CAYROHINES LAND LIMITED
Project:	PRIORSLAND CHERRYWOOD SHD
Drawing:	PROPOSED SITE SECTION A-A
Date:	MARCH 2022 1:50 / 1:20 @A1
Scale:	1:50
Sheet:	PLD18-MOLA-XX-XX-DR-A-30-XX301
Page:	P.01

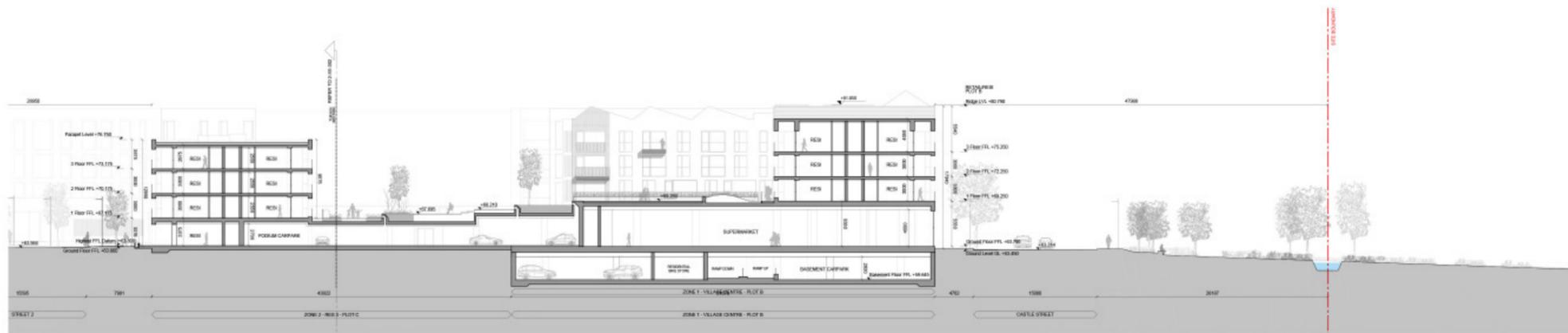
PROPOSED SITE SECTION B-B - PLD18-MOLA-XX-XX-DR-A-30-XX302



1 SITE SECTION B-B
SCALE: 1:500



2 SITE SECTION B-B
SCALE: 1:200



3 SITE SECTION B-B
SCALE: 1:200

NOTES / LEGEND

- GENERAL NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
- REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.
- THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 18M (ALLIANCE CONTROL) AND 10M (RES. 2 / RES. 3) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SHD.

Rev	Date	Description	By
1	25/03/2022	ISSUED FOR PLANNING	MOLA



PLANNING	
Client	1 CAYROHINES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PROPOSED SITE SECTION B-B
Date	MARCH 2022 1:500 / 1:200 @A3
Scale	1:500
Sheet	PLD18-MOLA-XX-XX-DR-A-30-XX302 P.01

PROPOSED SITE SECTION C-C & D-D - PLD18-MOLA-XX-XX-DR-A-30-XX303



1 SITE SECTION C-C
SCALE 1:200



2 SITE SECTION D-D
SCALE 1:200

NOTES / LEGEND

- GENERAL NOTES
- DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
- THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 18M VILLAGE CENTRE AND 10M RES 2 / RES 3 IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SHD.
- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
- REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.



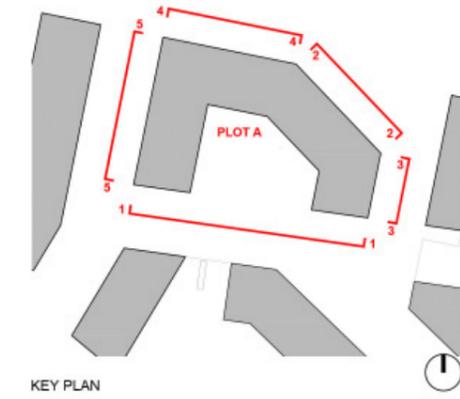
Rev	Date	Description	By
01	25/03/2022	ISSUED FOR PLANNING	MOLA



Client: TAYRICHES LAND LIMITED
 Project: PRIORSLAND CHERRYWOOD SHD
 Drawing: PROPOSED SITE SECTION C & D
 Date: MARCH 2022 1:200 (A3)
 Drawing No: PLD18-MOLA-XX-XX-DR-A-30-XX303 P.01

Stage	PLANNING
Client	TAYRICHES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PROPOSED SITE SECTION C & D
Date	MARCH 2022 1:200 (A3)
Drawing No	PLD18-MOLA-XX-XX-DR-A-30-XX303 P.01

PLOT A: PROPOSED EXTERNAL ELEVATIONS - PLD18-MOLA-A-XX-DR-A-40-A400



NOTES / LEGEND

(A) DARK TONED BRICKWORK	(D) METAL GATE TO SELECTED COLOUR FINISH
(B) MID TONED BRICKWORK	(E) METAL RAILING TO SELECTED COLOUR FINISH
(C) LIGHT TONED BRICKWORK	(F) PERFORATED METAL BALUSTRADE/SCREEN TO SELECTED COLOUR FINISH
(G) PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR	(H) METAL DOOR TO SELECTED COLOUR FINISH
(I) SELF FINISH RENDER TO SELECTED COLOUR FINISH	(J) FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH
(K) FRAMED DOUBLE GLAZED WINDOWS UNIT TO SELECTED COLOUR	(L) SINGLE GLAZED BALCONY WIND SCREEN
(M) METAL CLADDING PANEL TO SELECTED COLOUR FINISH	(N) PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH
(O) METAL LOUVERED ACCESS DOOR TO SELECTED COLOUR FINISH	(P) METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH

GENERAL NOTES:
DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 18M (VILLAGE CENTRE) AND 16M (RES 2 / RES 3) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SHD.
REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

Key Plan

Rev.	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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Stage: **PLANNING**

Client: **1 CARRICKMINES LAND LIMITED**

Project: **PRIORSLAND CHERRYWOOD SHD**

Drawing: **PLOT A: PROPOSED EXTERNAL ELEVATIONS**

Date: **MARCH 2022 1:200 @A1**

Drawing No: **PLD18-MOLA-A-XX-DR-A-40-A400**

Rev: 18029

By: [Signature]

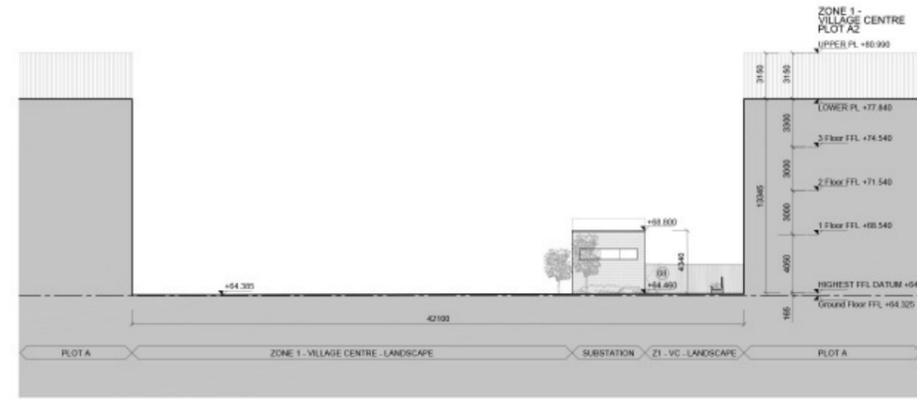
Checked: [Signature]

Scale: 1:200

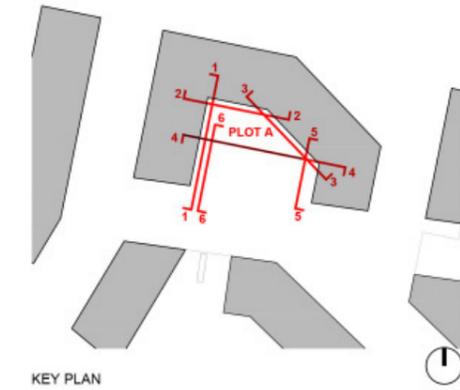
PLOT A: PROPOSED INTERNAL ELEVATIONS - PLD18-MOLA-A-XX-DR-A-40-A401



1 EAST INTERNAL ELEVATION
A 401



4 NORTH INTERNAL ELEVATION
A 401



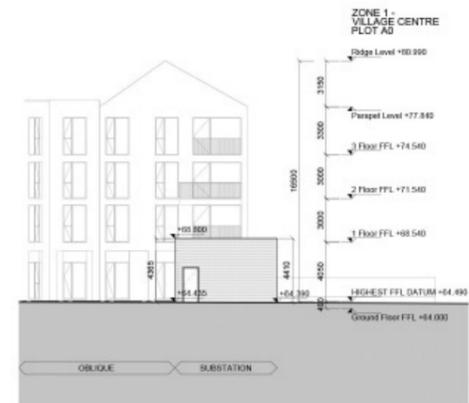
2 SOUTH INTERNAL ELEVATION
A 401



5 WEST INTERNAL ELEVATION
A 401



3 SOUTH WEST INTERNAL ELEVATION
A 401



6 WEST INTERNAL ELEVATION
A 401

NOTES / LEGEND

- (A) DARK TONED BRICKWORK
- (B) MID TONED BRICKWORK
- (C) LIGHT TONED BRICKWORK
- (D) PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR
- (E) SELF FINISH RENDER TO SELECTED COLOUR FINISH
- (F) FRAMED DOUBLE GLAZED WINDOWS UNIT TO SELECTED COLOUR
- (G) METAL CLADDING PANEL TO SELECTED COLOUR FINISH
- (H) METAL LOUVERED ACCESS DOOR TO SELECTED COLOUR FINISH
- (I) METAL GATE TO SELECTED COLOUR FINISH
- (J) METAL RAILING TO SELECTED COLOUR FINISH
- (K) PERFORATED METAL BALUSTRADE/SCREEN TO SELECTED COLOUR FINISH
- (L) METAL DOOR TO SELECTED COLOUR FINISH
- (M) FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH
- (N) SINGLE GLAZED BALCONY WIND SCREEN
- (O) PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH
- (P) METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH

GENERAL NOTES: TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
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- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
- REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

Key Plan



Rev.	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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Dunblair, Perth
Tel: +353 1 231 3880
www.molarchitects.com

Stage	PLANNING
Client	1 CARRICKMINES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT A: PROPOSED INTERNAL ELEVATIONS
Date	MARCH 2022 1:200 @A1
Drawing No.	PLD18-MOLA-A-XX-DR-A-40-A401
Scale	1:200
Revision	18029
Sheet	P-01

PLOT B: PROPOSED EXTERNAL ELEVATIONS - PLD18-MOLA-B-XX-DR-A-40-B400



NOTES / LEGEND

(A)	DARK TONED BRICKWORK	(B)	METAL GATE TO SELECTED COLOUR FINISH
(B)	MID TONED BRICKWORK	(C)	METAL RAILING TO SELECTED COLOUR FINISH
(C)	LIGHT TONED BRICKWORK	(D)	PERFORATED METAL BALUSTRADE/SCREEN TO SELECTED COLOUR FINISH
(D)	PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR	(E)	METAL DOOR TO SELECTED COLOUR FINISH
(E)	SELF FINISH RENDER TO SELECTED COLOUR FINISH	(F)	FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH
(F)	FRAMED DOUBLE GLAZED WINDOWS UNIT TO SELECTED COLOUR	(G)	SINGLE GLAZED BALCONY WIND SCREEN
(G)	METAL CLADDING PANEL TO SELECTED COLOUR FINISH	(H)	PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH
(H)	METAL LOUVERED ACCESS DOOR TO SELECTED COLOUR FINISH	(I)	METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH

GENERAL NOTES:
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Key Plan



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P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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Notes:
 - Do not scale.
 - Use figured dimensions only.
 - This drawing is to be read in conjunction with all relevant specifications and drawings.
 - All dimensions to be checked on site.
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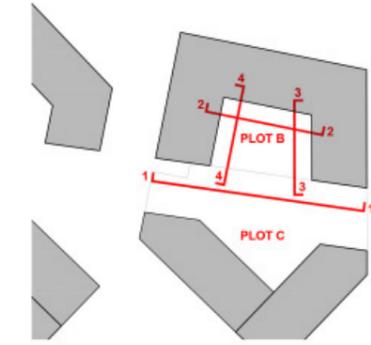
Stage:

PLANNING
Client: 1 CARRICKMINES LAND LIMITED
Project: PRIORSLAND CHERRYWOOD SHD
Drawing: PLOT B: PROPOSED EXTERNAL ELEVATIONS
Date: MARCH 2022 1:200 @A1
Drawing No: PLD18-MOLA-B-XX-DR-A-40-B400
Sheet: 18029
Scale: P-01

PLOT B: PROPOSED INTERNAL ELEVATIONS - PLD18-MOLA-B-XX-DR-A-40-B401



1 SOUTH INTERNAL ELEVATION 01
SCALE: 1:200



KEY PLAN



2 SOUTH INTERNAL ELEVATION 02
SCALE: 1:200



3 WEST INTERNAL ELEVATION
SCALE: 1:200



4 EAST INTERNAL ELEVATION
SCALE: 1:200

NOTES / LEGEND

- | | |
|--|--|
| (A) DARK TONED BRICKWORK | (I) METAL GATE TO SELECTED COLOUR FINISH |
| (B) MID TONED BRICKWORK | (J) METAL RAILING TO SELECTED COLOUR FINISH |
| (C) LIGHT TONED BRICKWORK | (K) PERFORATED METAL BALUSTRADE/SCREEN TO SELECTED COLOUR FINISH |
| (D) PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR | (L) METAL DOOR TO SELECTED COLOUR FINISH |
| (E) SELF FINISH RENDER TO SELECTED COLOUR FINISH | (M) FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH |
| (F) FRAMED DOUBLE GLAZED WINDOWS UNIT TO SELECTED COLOUR | (N) SINGLE GLAZED BALCONY WIND SCREEN |
| (G) METAL CLADDING PANEL TO SELECTED COLOUR FINISH | (O) PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH |
| (H) METAL CLAYED ACCESS DOOR TO SELECTED COLOUR FINISH | (P) METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH |

GENERAL NOTES:
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Key Plan



Rev.	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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 Carrickmines,
 Dublin 4, Ireland
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Stage	PLANNING
Client	1 CARRICKMINES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT B: PROPOSED INTERNAL ELEVATIONS
Date	MARCH 2022 1:200 @A1
Drawing No.	PLD18-MOLA-B-XX-DR-A-40-B401
Sheet	18029
Revision	-
Scale	P-01

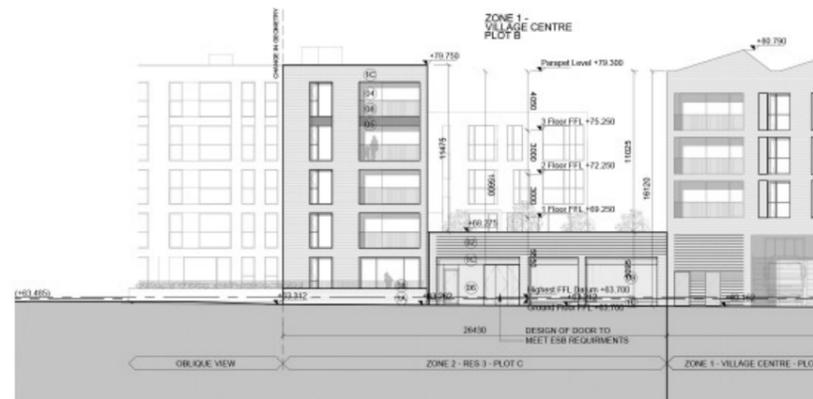
PLOT C: PROPOSED EXTERNAL ELEVATIONS - PLD18-MOLA-C-XX-DR-A-40-C400



1 SOUTH WEST ELEVATION
SCALE: 1:200



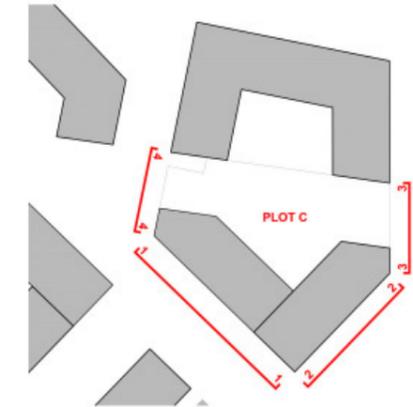
2 SOUTH EAST ELEVATION
SCALE: 1:200



3 EAST ELEVATION
SCALE: 1:200



4 WEST ELEVATION
SCALE: 1:200



KEY PLAN

NOTES / LEGEND	
01	DARK TONED BRICKWORK
02	MED TONED BRICKWORK
03	LIGHT TONED BRICKWORK
04	PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR
05	SELF FINISH RENDER TO SELECTED COLOUR FINISH
06	FRAMED DOUBLE GLAZED WINDOWS UNIT TO SELECTED COLOUR
07	METAL CLADDING PANEL TO SELECTED COLOUR FINISH
08	METAL LOUVERED ACCESS DOOR TO SELECTED COLOUR FINISH
09	METAL GATE TO SELECTED COLOUR FINISH
10	METAL BALUNO TO SELECTED COLOUR FINISH
11	PERFORATED METAL BALUSTRADE SCREEN TO SELECTED COLOUR FINISH
12	METAL DOOR TO SELECTED COLOUR FINISH
13	FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH
14	SINGLE GLAZED BALCONY WIND SCREEN
15	PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH
16	METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS
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Stage: **PLANNING**

Client: **1 CARRICKMINES LAND LIMITED**

Project: **PRIORSLAND CHERRYWOOD SHD**

Drawing: **PLOT C: PROPOSED EXTERNAL ELEVATIONS**

Date: **MARCH 2022 1:200 @A1**

Drawing No: **PLD18-MOLA-C-XX-DR-A-40-C400**

Scale: **1:200**

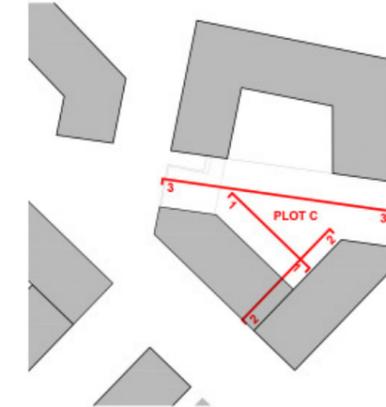
Revision: **18029**

Sheet: **P-01**

PLOT C: PROPOSED INTERNAL ELEVATIONS - PLD18-MOLA-C-XX-DR-A-40-C401



1 NORTH EAST INTERNAL ELEVATION
SCALE: 1:200



KEY PLAN



2 NORTH WEST ELEVATION
SCALE: 1:200



3 NORTH ELEVATION
SCALE: 1:200

NOTES / LEGEND

01	DARK TONED BRICKWORK	07	METAL GATE TO SELECTED COLOUR FINISH
02	MID TONED BRICKWORK	08	METAL RAILING TO SELECTED COLOUR FINISH
03	LIGHT TONED BRICKWORK	09	PERFORATED METAL BALUSTRADE/SCREEN TO SELECTED COLOUR FINISH
04	PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR	10	METAL DOOR TO SELECTED COLOUR FINISH
05	SELF FINISH RENDER TO SELECTED COLOUR FINISH	11	FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH
06	FRAMED DOUBLE GLAZED WINDOWS UNIT TO SELECTED COLOUR	12	SINGLE GLAZED BALCONY WIND SCREEN
07	METAL CLADDING PANEL TO SELECTED COLOUR FINISH	13	PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH
08	METAL LOUVERED ACCESS DOOR TO MEET ESB REQUIREMENTS TO SELECTED COLOUR FINISH	14	METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH

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Stage:	PLANNING
Client:	1 CARRICKMINES LAND LIMITED
Project:	PRIORSLAND CHERRYWOOD SHD
Drawing:	PLOT C: PROPOSED INTERNAL ELEVATIONS
Date:	MARCH 2022 1:200 @A1
Drawing No.:	PLD18-MOLA-C-XX-DR-A-40-C401
Scale:	1:200
Author:	18029
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Issue:	
Rev:	
By:	
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PLOT D: PROPOSED EXTERNAL ELEVATIONS - PLD18-MOLA-D-XX-DR-A-40-D400



1 SOUTH EAST ELEVATION
D400 SCALE: 1:200



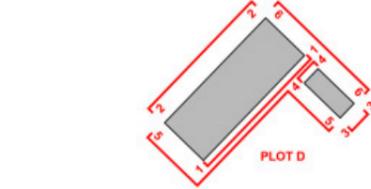
2 NORTH WEST ELEVATION
D400 SCALE: 1:200



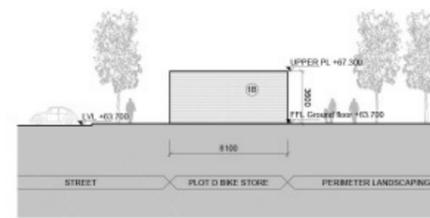
5 SOUTH WEST ELEVATION
D400 SCALE: 1:200



3 SOUTH EAST ELEVATION / SE(2)
D400 SCALE: 1:200



KEY PLAN



4 NORTH WEST ELEVATION / NW(2)
D400 SCALE: 1:200



6 NORTH EAST ELEVATION
D400 SCALE: 1:200

NOTES / LEGEND

(A)	DARK TONED BRICKWORK	(10)	METAL GATE TO SELECTED COLOUR FINISH
(B)	MED TONED BRICKWORK	(11)	METAL RAILING TO SELECTED COLOUR FINISH
(C)	LIGHT TONED BRICKWORK	(12)	PERFORATED METAL BALUSTRADE SCREEN TO SELECTED COLOUR FINISH
(D)	PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR	(13)	METAL DOOR TO SELECTED COLOUR FINISH
(E)	SELF FINISH RENDER TO SELECTED COLOUR FINISH	(14)	FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH
(F)	FRAMED DOUBLE GLAZED WOODRIMS UNIT TO SELECTED COLOUR	(15)	SINGLE GLAZED BALCONY WIND SCREEN
(G)	METAL CLADDING PANEL TO SELECTED COLOUR FINISH	(16)	PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH
(H)	METAL LOUVERED ACCESS DOOR TO SELECTED COLOUR FINISH	(17)	METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH

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Key Plan



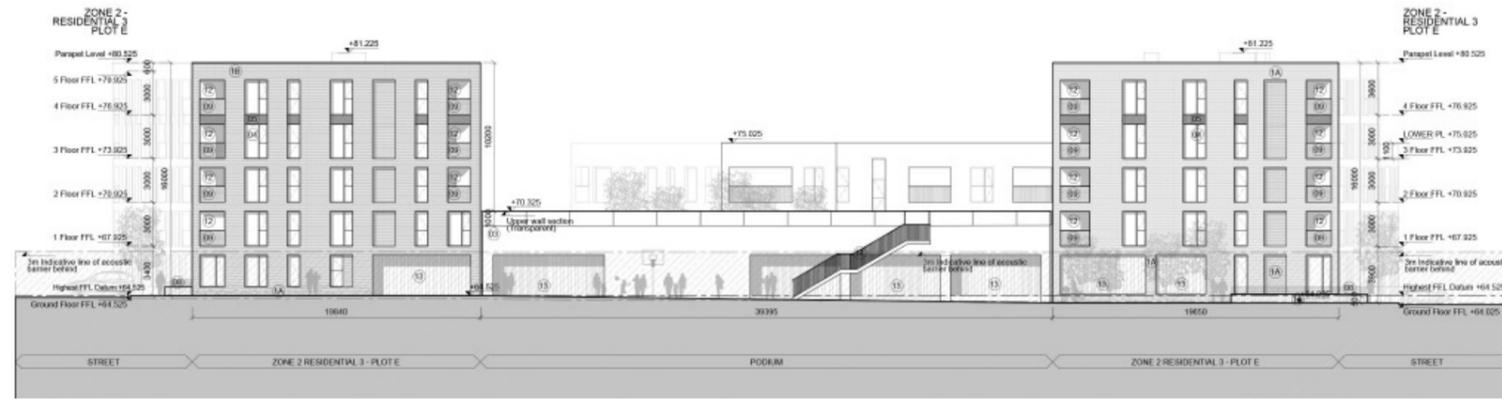
Rev.	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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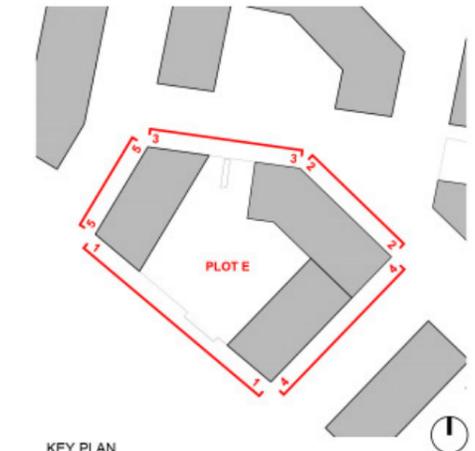
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Stage:	
PLANNING	
Client:	1 CARRICKMINES LAND LIMITED
Project:	PRIORSLAND CHERRYWOOD SHD
Drawing:	PLOT D: PROPOSED EXTERNAL ELEVATIONS
Date:	MARCH 2022 1:200 @A1
Drawing No.:	PLD18-MOLA-D-XX-DR-A-40-D400
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PLOT E: PROPOSED EXTERNAL ELEVATIONS - PLD18-MOLA-E-XX-DR-A-40-E400



1 SOUTH WEST ELEVATION
E400 SCALE: 1:200



KEY PLAN



2 NORTH EAST ELEVATION
E400 SCALE: 1:200



3 NORTH ELEVATION
E400 SCALE: 1:200



4 SOUTH EAST ELEVATION
E400 SCALE: 1:200



5 NORTH WEST ELEVATION
E400 SCALE: 1:200

NOTES / LEGEND

(A) DARK TONED BRICKWORK	(I) METAL GATE TO SELECTED COLOUR FINISH
(B) MED TONED BRICKWORK	(J) METAL RAILING TO SELECTED COLOUR FINISH
(C) LIGHT TONED BRICKWORK	(K) PERFORATED METAL BALUSTRADE SCREEN TO SELECTED COLOUR FINISH
(D) PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR	(L) METAL DOOR TO SELECTED COLOUR FINISH
(E) SELF FINISH RENDER TO SELECTED COLOUR FINISH	(M) FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH
(F) FRAMED DOUBLE GLAZED WINDOWS UNIT TO SELECTED COLOUR	(N) SINGLE GLAZED BALCONY WIND SCREEN
(G) METAL CLADDING PANEL TO SELECTED COLOUR FINISH	(O) PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH
(H) METAL LOUVERED ACCESS DOOR TO SELECTED COLOUR FINISH	(P) METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH

GENERAL NOTES: TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.

- THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 10M (VILLAGE CENTRE) AND 10M (RES 2 / RES 3) IN ACCORDANCE WITH SECTION 3.9 AND TABLE 2.11 OF THE CHERRYWOOD SZC.
- REFER TO ARCHITECT'S ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
- REFER TO ARCHITECT'S DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

Key Plan

Rev.	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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PLANNING

Client: CARRICKMINES LAND LIMITED

Project: PRIORSLAND CHERRYWOOD SHD

Drawing: PLOT E: PROPOSED EXTERNAL ELEVATIONS

Date: MARCH 2022 1:200 @A1

Drawing No: PLD18-MOLA-E-XX-DR-A-40-E400

Scale: 1:200

Sheet: 18029

Page: P-01

PLOT E: PROPOSED INTERNAL ELEVATIONS - PLD18-MOLA-E-XX-DR-A-40-E401



1 WEST INTERNAL ELEVATION
E401 SCALE: 1:200



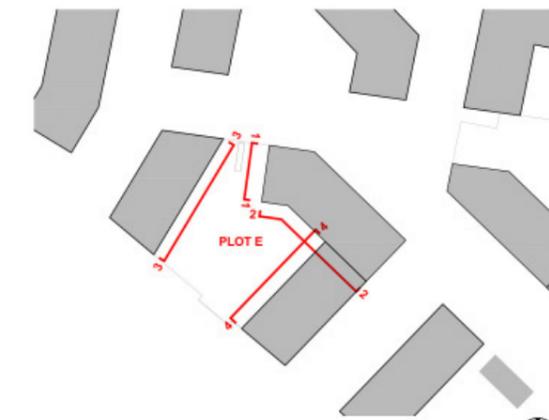
2 SOUTH INTERNAL ELEVATION
E401 SCALE: 1:200



3 EAST INTERNAL ELEVATION
E401 SCALE: 1:200



4 NORTH WEST INTERNAL ELEVATION
E401 SCALE: 1:200



KEY PLAN

NOTES / LEGEND

(A) DARK TONED BRICKWORK	(D) METAL GATE TO SELECTED COLOUR FINISH
(B) MID TONED BRICKWORK	(E) METAL RAILING TO SELECTED COLOUR FINISH
(C) LIGHT TONED BRICKWORK	(F) PERFORATED METAL BALUSTRADE/SCREEN TO SELECTED COLOUR FINISH
(G) PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR	(H) METAL DOOR TO SELECTED COLOUR FINISH
(I) SELF FINISH RENDER TO SELECTED COLOUR FINISH	(J) FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH
(K) FRAMED DOUBLE GLAZED WINDOWS UNIT TO SELECTED COLOUR	(L) SINGLE GLAZED BALCONY WIND SCREEN
(M) METAL CLADDING PANEL TO SELECTED COLOUR FINISH	(N) PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH
(O) METAL LOUVERED ACCESS DOOR TO SELECTED COLOUR FINISH	(P) METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH

GENERAL NOTES:
 - DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
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 - REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
 - REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
 - LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

Key Plan



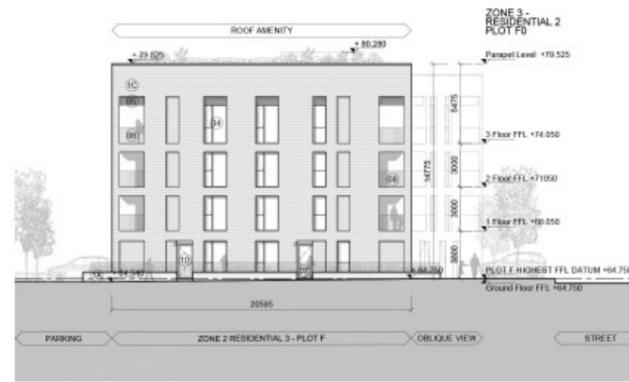
Rev.	Date	Description	By
P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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Stage	
Client	1 CARRICKMINES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT E: PROPOSED INTERNAL ELEVATIONS
Date	MARCH 2022 1:200 @A1
Drawing No.	PLD18-MOLA-E-XX-DR-A-40-E401
Drawn	18029
Checked	
Scale	P-01

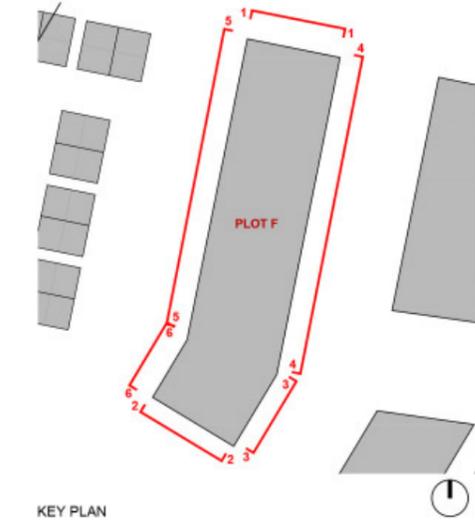
PLOT F: PROPOSED EXTERNAL ELEVATIONS - PLD18-MOLA-F-XX-DR-A-40-F400



1 NORTH ELEVATION
SCALE: 1:200



2 SOUTH ELEVATION
SCALE: 1:200



KEY PLAN



3 SOUTH EAST ELEVATION
SCALE: 1:200

4 EAST ELEVATION
SCALE: 1:200



5 WEST ELEVATION
SCALE: 1:200

6 NORTH WEST ELEVATION
SCALE: 1:200

NOTES / LEGEND

1A	DARK TONED BRICKWORK	07	METAL GATE TO SELECTED COLOUR FINISH
1B	MID TONED BRICKWORK	08	METAL RAILING TO SELECTED COLOUR FINISH
1C	LIGHT TONED BRICKWORK	09	PERFORATED METAL BALUSTRADESCREEN TO SELECTED COLOUR FINISH
02	PATTERNED BRICK TO MATCH ADJACENT BRICK COLOUR	10	METAL DOOR TO SELECTED COLOUR FINISH
03	SELF FINISH RENDER TO SELECTED COLOUR FINISH	11	FRAMED GLAZED DOOR TO SELECTED COLOUR FINISH
04	FRAMED DOUBLE GLAZED WINDOWS UNIT TO SELECTED COLOUR	12	SINGLE GLAZED BALCONY WIND SCREEN
05	METAL CLADDING PANEL TO SELECTED COLOUR FINISH	13	PERFORATED METAL MESH WITH STAGGERED VERTICAL MULLIONS TO SELECTED COLOUR FINISH
06	METAL LOUVERED ACCESS DOOR TO SELECTED COLOUR FINISH	14	METAL OPEN TREAD STAIR TO SELECTED COLOUR FINISH

GENERAL NOTES:
DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS
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- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS
- REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

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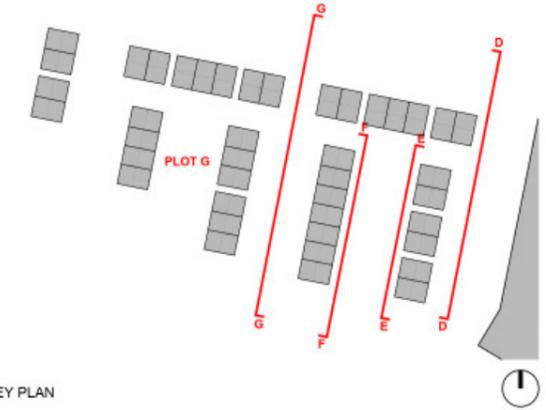
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Stage:	PLANNING
Client:	1 CARRICKMINES LAND LIMITED
Project:	PRIORSLAND CHERRYWOOD SHD
Drawing:	PLOT F: PROPOSED EXTERNAL ELEVATIONS
Date:	MARCH 2022 1:200 @A1
Drawing No.:	PLD18-MOLA-F-XX-DR-A-40-F400
Sheet:	18029
Revision:	-
Page:	P-01

PLOT G: PROPOSED STREET ELEVATION DD - GG - PLD18-MOLA-G-XX-DR-A-40-G400



1 ELEVATION DD
SCALE: 1:200



KEY PLAN



2 ELEVATION GG
SCALE: 1:200



3 ELEVATION EE
SCALE: 1:200



4 ELEVATION FF
SCALE: 1:200

NOTES / LEGEND

- 1A) DARK TONED BRICKWORK
- 1B) MID TONED BRICKWORK
- 1C) LIGHT TONED BRICKWORK
- 02) SLATE ROOF TILE
- 03) SELF FINISH RENDER TO SELECTED COLOUR FINISH
- 04) DOUBLE GLAZED WINDOW UNIT WITH FRAMES TO SELECTED COLOUR FINISH
- 05) DOUBLE GLAZED SLIDING DOOR WITH FRAMES TO SELECTED COLOUR FINISH
- 06) TIMBER ENTRANCE DOOR TO SELECTED COLOUR FINISH
- 07) METAL RAILING TO SELECTED COLOUR FINISH
- 08) TIMBER PRIVACY FENCE / GATE
- 09) 3M HIGH IMPERFORATE ACOUSTIC BARRIER
- 10) METAL CLAD CANOPY TO SELECTED COLOUR FINISH
- 11) BIN STORE - SELF COLOURED RENDER FINISH TO SELECTED COLOUR FINISH

GENERAL NOTES:
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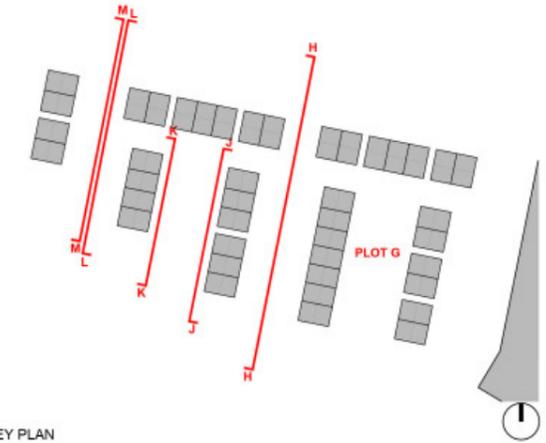
Stage

Client	Project	Drawing	Date	Scale	Sheet	Revision
1 CARRICKMINES LAND LIMITED	PRIORSLAND CHERRYWOOD SHD	PLOT G: PROPOSED STREET ELEVATION DD - GG	MARCH 2022	1:200 @A1	18029	
		PLD18-MOLA-G-XX-DR-A-40-G400				P-01

PLOT G: PROPOSED STREET ELEVATION HH - MM - PLD18-MOLA-G-XX-DR-A-40-G401



1 ELEVATION HH
SCALE: 1:200



KEY PLAN



2 ELEVATION LL
SCALE: 1:200



3 ELEVATION MM
SCALE: 1:200



4 ELEVATION JJ
SCALE: 1:200



5 ELEVATION KK
SCALE: 1:200

NOTES / LEGEND

- | | | | |
|----|---|----|--|
| 1A | DARK TONED BRICKWORK | 05 | DOUBLE GLAZED SLIDING DOOR WITH FRAMES TO SELECTED COLOUR FINISH |
| 1B | MID TONED BRICKWORK | 06 | TIMBER ENTRANCE DOOR TO SELECTED COLOUR FINISH |
| 1C | LIGHT TONED BRICKWORK | 07 | METAL RAILING TO SELECTED COLOUR FINISH |
| 02 | SLATE ROOF TILE | 08 | TIMBER PRIVACY FENCE / GATE |
| 03 | SELF FINISH RENDER TO SELECTED COLOUR FINISH | 09 | 8M HIGH IMPERFORATE ACOUSTIC BARRIER |
| 04 | DOUBLE GLAZED WINDOW UNIT WITH FRAMES TO SELECTED COLOUR FINISH | 10 | METAL CLAD CANOPY TO SELECTED COLOUR FINISH |
| | | 11 | BIN STORE, SELF COLOURED RENDER FINISH TO SELECTED COLOUR FINISH |

GENERAL NOTES:
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- REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
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P-01	25/03/2022	ISSUED FOR PLANNING	MOLA

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Stage: **PLANNING**

Client: **1 CARRICKMINES LAND LIMITED**

Project: **PRIORSLAND CHERRYWOOD SHD**

Drawing: **PLOT G: PROPOSED STREET ELEVATION HH - MM**

Date: **MARCH 2022 1:200 @A1**

Drawing No: **PLD18-MOLA-G-XX-DR-A-40-G401**

Scale: **1:200**

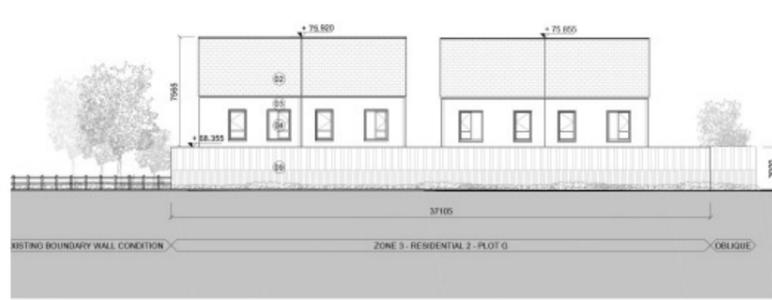
Revision: **18029**

Sheet: **P-01**

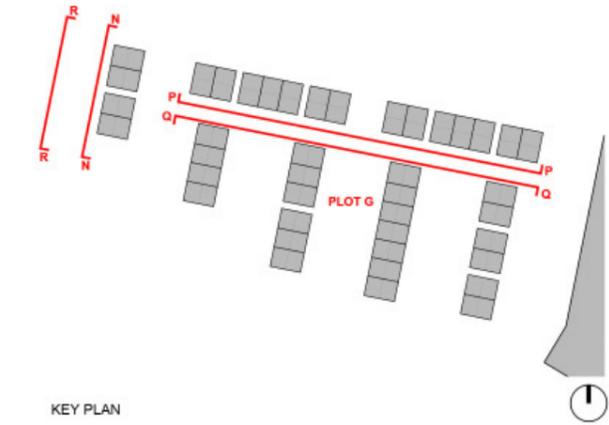
PLOT G: PROPOSED STREET ELEVATION NN - RR - PLD18-MOLA-G-XX-DR-A-40-G402



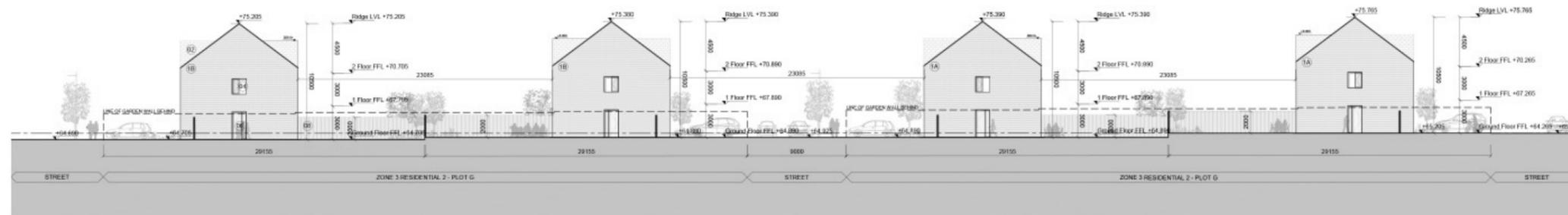
1 ELEVATION NN
SCALE: 1:200



2 ELEVATION RR
SCALE: 1:200



3 ELEVATION PP
SCALE: 1:200



4 ELEVATION QQ
SCALE: 1:200

NOTES / LEGEND

- 1A) DARK TONED BRICKWORK
- 1B) MID TONED BRICKWORK
- 1C) LIGHT TONED BRICKWORK
- 02) SLATE ROOF TILE
- 03) SELF FINISH RENDER TO SELECTED COLOUR FINISH
- 04) DOUBLE GLAZED WINDOW UNIT WITH FRAMES TO SELECTED COLOUR FINISH
- 05) DOUBLE GLAZED SLIDING DOOR WITH FRAMES TO SELECTED COLOUR FINISH
- 06) TIMBER ENTRANCE DOOR TO SELECTED COLOUR FINISH
- 07) METAL RAILING TO SELECTED COLOUR FINISH
- 08) TIMBER PRIVACY FENCE / GATE
- 09) 3M HIGH IMPERFORATE ACOUSTIC BARRIER
- 10) METAL CLAD CANOPY TO SELECTED COLOUR FINISH
- 11) BIN STORE - SELF COLOURED RENDER FINISH TO SELECTED COLOUR FINISH

GENERAL NOTES:
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REFER TO ARCHITECT'S DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.

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Stage:

PLANNING

Client: 1 CARRICKMIES LAND LIMITED

Project: PRIORSLAND CHERRYWOOD SHD

Drawing: PLOT G: PROPOSED STREET ELEVATION NN - RR

Date: MARCH 2022 1:200 @A1

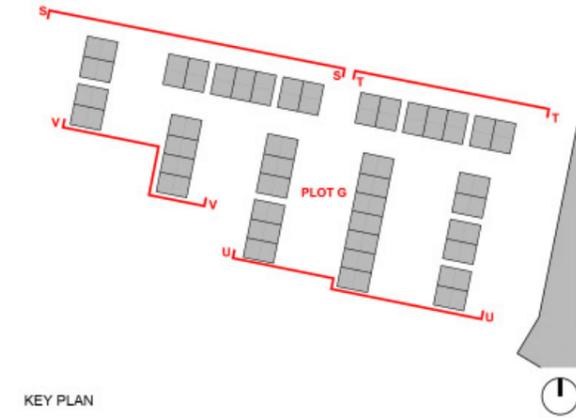
Drawing No: PLD18-MOLA-G-XX-DR-A-40-G402

Sheet: 18029 P-01

PLOT G: PROPOSED STREET ELEVATION SS - VV - PLD18-MOLA-G-XX-DR-A-40-G403



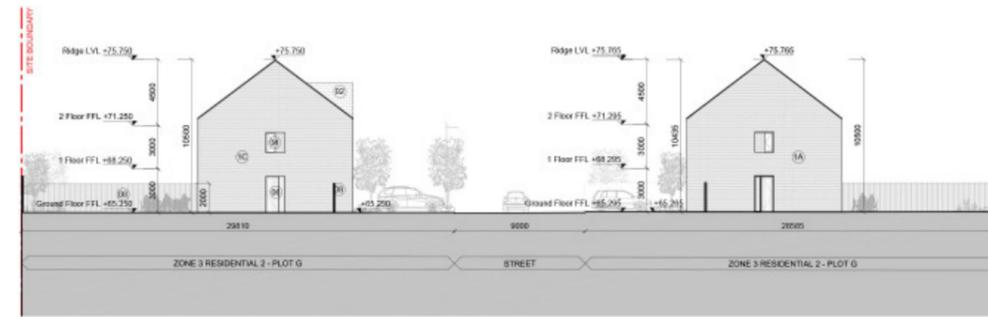
1 ELEVATION SS
SCALE: 1:200



KEY PLAN



2 ELEVATION TT
SCALE: 1:200



3 ELEVATION VV
SCALE: 1:200



4 ELEVATION UU
SCALE: 1:200

NOTES / LEGEND

- 1A DARK TONED BRICKWORK
- 1B MID TONED BRICKWORK
- 1C LIGHT TONED BRICKWORK
- 02 SLATE ROOF TILE
- 03 SELF FINISH RENDER TO SELECTED COLOUR FINISH
- 04 DOUBLE GLAZED WINDOW UNIT WITH FRAMES TO SELECTED COLOUR FINISH
- 05 DOUBLE GLAZED SLIDING DOOR WITH FRAMES TO SELECTED COLOUR FINISH
- 06 TIMBER ENTRANCE DOOR TO SELECTED COLOUR FINISH
- 07 METAL RAILING TO SELECTED COLOUR FINISH
- 08 TIMBER PRIVACY FENCE / GATE
- 09 900MM HIGH IMPERFORATE ACOUSTIC BARRIER
- 10 METAL CLAD CANOPY TO SELECTED COLOUR FINISH
- 11 RIB STORE, SELF COLOURED RENDER FINISH TO SELECTED COLOUR FINISH

GENERAL NOTES: TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.

- THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 10M (VILLAGE CENTRE) AND 10M (RES 2 / RES 3) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SHD.
- REFER TO ARCHITECT'S ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
- REFER TO ARCHITECT'S DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR DETAILED INFORMATION.

Key Plan



Rev.	Date	Description	By
P-01	25/02/2022	ISSUED FOR PLANNING	MOLA

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Stage	PLANNING
Client	1 CARRICKMINES LAND LIMITED
Project	PRIORSLAND CHERRYWOOD SHD
Drawing	PLOT G: STREET ELEVATION SS - VV
Date	MARCH 2022 1:200 @A1
Drawing No.	PLD18-MOLA-G-XX-DR-A-40-G403
Scale	1:200
Revision	18029
Sheet	P-01

PROPOSED CONTIGUOUS SITE ELEVATION A-A - PLD18-MOLA-XX-XX-DR-A-40-XX400



CONTIGUOUS ELEVATION A-A
SCALE 1:50



CONTIGUOUS ELEVATION A-A
SCALE 1:20



CONTIGUOUS ELEVATION A-A
SCALE 1:20

NOTES / LEGEND

- GENERAL NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
- THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM PERMISSIBLE BUILDING HEIGHT OF 18M (VILLAGE CENTRE) AND 10M (RESIDENTIAL) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SHD.
- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
- REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.
- REFER TO ELEVATION DRAWINGS FOR BUILDING DIMENSIONS.

Rev	Date	Description	By
1	25/03/2022	ISSUED FOR PLANNING	MOLA



Project		PLANNING	
Client	1 CARRONGHES LAND LIMITED	Site	PRIORSLAND CHERRYWOOD SHD
Project	PROPOSED CONTIGUOUS ELEVATION A-A	Scale	1:50
Date	MARCH 2022 1:00 / 1:20 @A	Drawn	18029
Drawn By	PLD18-MOLA-XX-XX-DR-A-40-XX400	Check	
Checked By		Scale	D-01

PROPOSED CONTIGUOUS SITE ELEVATION B-B - PLD18-MOLA-XX-XX-DR-A-40-XX401



CONTIGUOUS ELEVATION B-B
SCALE: 1:200



CONTIGUOUS ELEVATION B-B
SCALE: 1:200



CONTIGUOUS ELEVATION B-B
SCALE: 1:200

NOTES / LEGEND

- GENERAL NOTES: DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND REPORTS PREPARED BY MOLA AND DESIGN TEAM MEMBERS.
- THE DIMENSION / BUILDING HEIGHT IS TAKEN FROM A DATUM AT THE HIGH POINT ON THE STREET. THIS IS WITHIN THE MAXIMUM FEASIBLE BUILDING HEIGHT OF 18M (VILLAGE CENTRE) AND 16M (RES. 2 FLOORS) IN ACCORDANCE WITH SECTION 2.9 AND TABLE 2.11 OF THE CHERRYWOOD SDZ.
- REFER TO ARCHITECTS ELEVATION DRAWINGS FOR DETAILED SCOPE OF PROPOSED MATERIALS.
- REFER TO ARCHITECTS DESIGN REPORT FOR FURTHER INFORMATION ON PROPOSED MATERIALS.
- LANDSCAPING SHOWN IS INDICATIVE. REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILED INFORMATION.
- REFER TO ELEVATION DRAWINGS FOR BUILDING DIMENSIONS.



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Stage		PLANNING	
1	CARRICKMOS LAND LIMITED		
2	PRIORSLAND CHERRYWOOD SHD		
3	PROPOSED CONTIGUOUS ELEVATION B-B		
4	MARCH 2022	1:500 / 1:200 (QAT)	18029
5	PLD18-MOLA-XX-XX-DR-A-40-XX401		

PROPOSED CONTIGUOUS SITE ELEVATION C-C - PLD18-MOLA-XX-XX-DR-A-40-XX402



CONTIGUOUS ELEVATION C-C
SCALE: 1:500



CONTIGUOUS ELEVATION C-C
SCALE: 1:500



CONTIGUOUS ELEVATION C-C
SCALE: 1:500

NOTES / LEGEND

REFER TO ELEVATION DRAWINGS FOR BUILDING DIMENSIONS

Rev

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1	20/03/2022	ISSUED FOR PLANNING	MOLA

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Stage	PLANNING
1	CARRICKMANS LAND LIMITED
	PRIORSLAND CHERRYWOOD SHD
	PROPOSED CONTIGUOUS ELEVATION C-C
	DATE: 20/03/2022 1:500 1:500 (S&S)
	PROJECT: PLD18-MOLA-XX-XX-DR-A-40-XX402
	SCALE: 1:500
	FIG. 1

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