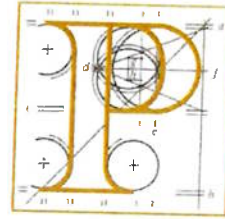


**Our Case Number:** ABP-315708-23

**Planning Authority Reference Number:** 2250933

**Your Reference:** Patrick Bonar



An  
Bord  
Pleanála

Genesis Planning Consultants  
Dean Swift Building  
Armagh Business Park  
Hamiltonsbawn Road  
Armagh  
BT60 1HW  
Northern Ireland

**Date:** 15 December 2023

**Re:** Demolition of existing concrete structure and the quarrying of 5.37 hectares which will be subject to extraction and processing of rock through drilling, blasting, crushing and screening and all associated ancillary facilities/works over a 25 year period. An Environmental Impact Assessment Report and Natura Impact Statement accompanies this application. Magherasolis and Craigs, Raphoe, Lifford PO, Co. Donegal.

Dear Sir / Madam,

I have been asked by An Bord Pleanála to refer to the above-mentioned appeal.

The Board has examined the appeal and is of the opinion that certain information is necessary for the purpose of enabling it to determine the appeal.

In accordance with section 132 of the Planning and Development Act, 2000, (as amended), you are required to submit, on or before **19<sup>th</sup> March, 2024**, the following information:

- **The alleged dumping of domestic waste within the former quarry has not been addressed in the planning application or the EIAR. Please investigate this dumping in order to identify its contents and estimate its extent and volume. Measures for its remediation shall be proposed, including how the quality of water discharging from the site would be safeguarded during remediation.**
- **Sections 8.4.10 and 8.6.2.2 of the EIAR address groundwater in conjunction with the preferential flow within the former quarry. Please clarify the basis for the calculation/estimation of the volume of groundwater within this flow at present and under the proposed quarry.**

Teil	Tel	(01) 858 8100
Glaos Áitiúil	LoCall	1800 275 175
Facs	Fax	(01) 872 2684
Láithreán Gréasáin	Website	www.pleanala.ie
Ríomhphost	Email	bord@pleanala.ie


64 Sráid Maoilbhríde	64 Marlborough Street
Baile Átha Cliath 1	Dublin 1
D01 V902	D01 V902

- Please state the volumes of water that would discharge from the water management proposals into the land drain under normal and storm surge scenarios. Provide details of this drain, i.e., its exact position, specification, and condition, and demonstrate its adequacy to receive the envisaged discharge.
- Please clarify how, under the site restoration plan, water would drain from the lowered quarry floor to the "original" drainage system, i.e., the one that would pre-date the water management proposals.
- Please clarify the improvements proposed for the means of access to the site, i.e., the local road and its onward extension into the site, by means of a detailed site survey plan and elucidating cross-sections. This plan and these cross-sections shall indicate how the means of access would be drained and the relationship between it and the land drain, which would receive the discharge from the site. Any removal of existing vegetation to improve forward visibility shall be specified, too.
- Please clarify the following proposed operational phase aspects of the proposal:
  - a) The sump shown in Phase 1 of the proposed quarry would be suspended in conjunction with the lowering of the quarry floor. Elucidate how this sump would remain operational during such lowering and demonstrate its compatibility with the maintenance of access to the proposed quarry.
  - b) Under the "Noise and Dust" chapter of the EIAR, the processing plant is described as being static within Zone 1, which would encompass Phase 1 of the proposed quarry. Elucidate how this plant would remain operational during the lowering of the quarry floor.

If the information required is not received before the end of the specified period, the Board will dismiss or otherwise determine the appeal without further notice to you in accordance with section 133 of the 2000 Act, (as amended). **The provisions of section 251 of the Planning and Development Act, 2000, (as amended), relating to the holiday period between the 24th December and 1st January, 2000, (as amended), both days inclusive, have been taken into account in the calculation of the response date.** Your submission in response to this notice must be received by the Board not later than 5.30 p.m. on the date specified above.

Please quote the above appeal reference number in any further correspondence.

Yours faithfully,

  
 Aisling Reilly  
 Executive Officer  
 Direct Line: 01-8737131

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