

BUILDING HISTORY

The original four houses at 46 to 49 O'Connell Street Upper were built as private houses in the 18th century.¹ Drogheda Street had been laid out in the opening years of that century on the estate of the Earl of Drogheda. The land was subsequently acquired by Luke Gardiner who widened northern section of the street significantly, between Parnell Street and Henry Street, leaving the eastern side intact and moving the western side significantly westward. The widened section of the street was named Sackville Street, while the southern section, which stretched southward to Abbey Street, retained its original name.

While leases of plots of land for building on the western side of the widened street began in the early 1750s, part of the ground was in use as a sand pit and this remained in use, probably as a source of the sand used in building the houses.² This sand pit was on the site that was later to become numbers 45, 46, 47 and 48 O'Connell Street Upper and leases for building on this site were not granted until the end of the 1760s.

Sneyd, Barton and French, wine importers, moved to the premises in 1814 and by the 1820s had extensive wine vaults, while number 48 was the offices of a mining company.³ Number 49 was occupied by an apothecary from the early 1830s and by 1840 number 47 was also in commercial use.⁴ In the mid-1860s W A Gilbey, wine importers, took over numbers 46 and 47 and remodelled the buildings, with a new front and extensive wine stores.⁵ The view of the street that was published in Shaw's *Pictorial Guide and Directory of Dublin* in 1850 provides a sketch of the original 18th-century houses.⁶



Figure 1: Elevation of 46-49 O'Connell Street Upper from Shaw's Directory of 1850

Goad's insurance plan of 1893 shows how the premises were used at that time.⁷ Gilbey's main building at 46-47 O'Connell Street Upper was double pile, four storeys over basement with rooms in the roof space at the front and there was a passageway through the building at the southern side. To the rear the entire site was covered with two-storey buildings with a large roof lantern in the centre. These were used as bottling stores, with an area for washing in the north-west corner. Below these stores were interconnecting brick-arched stores. The company also had a two-storey bottle washing plant at the rear of number 48 O'Connell Street Upper. The building at the front of number 48 was four-storeys high with a bow at the rear and was used as offices. Apart from Gilbey's building at the site the rear of number 48 was not built on. Number 49 O'Connell Street Upper was in use as a silk mercer's. The building was four-storey with a return at the rear and a bow at the back of the main building. There was a two-storey structure part-way back into the site, while at the rear at Moore Lane there was an open yard.

¹ Maurice Craig, 1952, *Dublin 1660-1860*, Ebury Press, p. 104.

² Registry of Deeds, book 265, page 218, number 174919.

³ Wilson's *Dublin Directory*, 1814, 1815; *New Valuation of the City of Dublin*, 1828, p. 223.

⁴ Pettigrew & Oulton, *Dublin Almanack*, 1934 to 1847.

⁵ Dictionary of Irish Architects, www.dia.ie.

The revised edition of Goad's insurance plan that was published in 1926 shows some changes.⁸ Gilbey's property at numbers 46 and 47 were virtually unchanged. Number 48 was still in use as offices with a yard to the rear, while the building previously used by Gilbey's on the Moore Lane frontage was now a church furniture factory, two storeys high and extended since the 1890s. Number 49 was occupied by Bass, Ratcliff & Gretton Ltd, the brewing company, which used the main building as offices, with a two-storey stable building at the Moore Lane end.

The four buildings were demolished in 1972 and the site was developed for offices, with ground-floor shops, completed in the late 1970s.⁹ The basement was not incorporated into the new building as the maximum plot ration had been reached on the upper floors and the additional cost of including the basement would not have been warranted.¹⁰ The building was occupied as the headquarters of Dublin County Council until the breaking up of the county in 1994, following which it was the headquarters of Fingal County Council until the completion of the new civic offices in Swords, with a shop on the ground floor frontage. Subsequently there was a cinema on the premises.

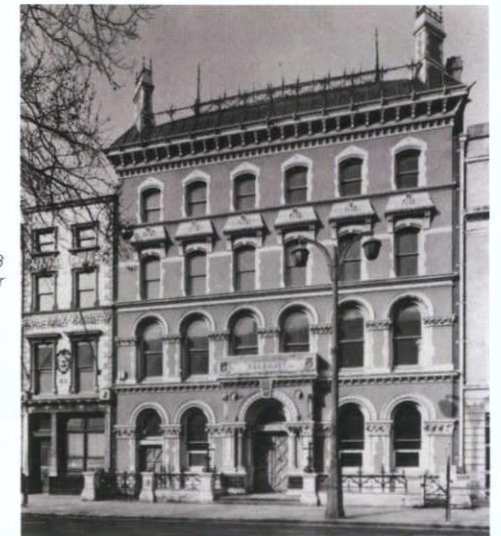


Figure 2: Numbers 46 to 48 O'Connell Street Upper



Figure 3: Stores at rear of Gilbey's

⁶ Henry Shaw, 1850, *Dublin Pictorial Guide and Directory*.

⁷ Goad, Charles, *Insurance Plan of the City of Dublin*, 1893, sheet 4.

⁸ Goad, Charles, *Insurance Plan of the City of Dublin*, 1926, sheet 4.

⁹ Thom's *Directory*, 1965 to 2012; Christine Casey, 2005, *The Buildings of Ireland: Dublin*, Yale University Press, p. 216.

¹⁰ *Plan*, June 1994

FLOOR PLANS

Not to scale



Figure 4: Plan at basement level

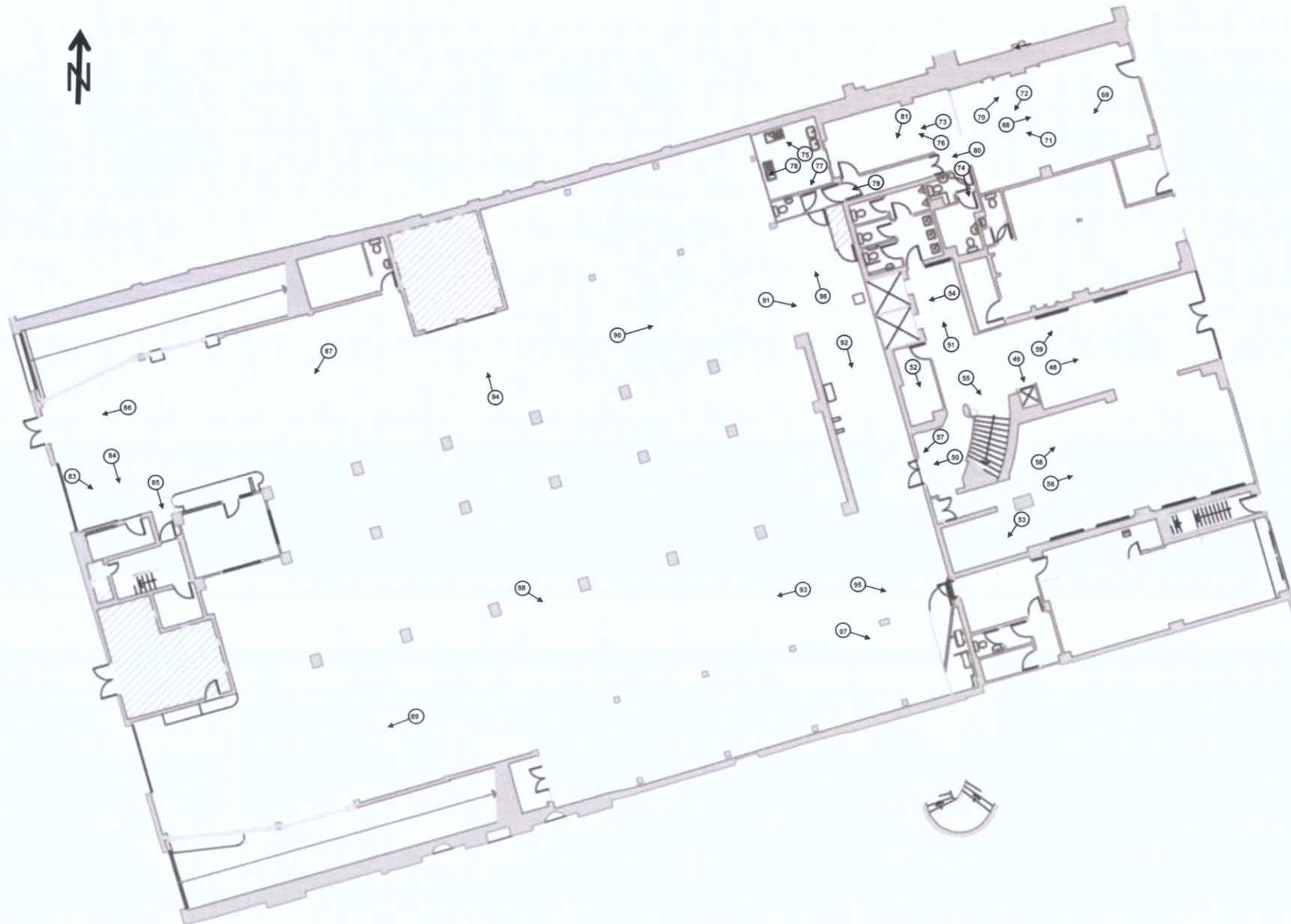


Figure 5: Plan at ground floor level



Figure 6: Plan at first floor level

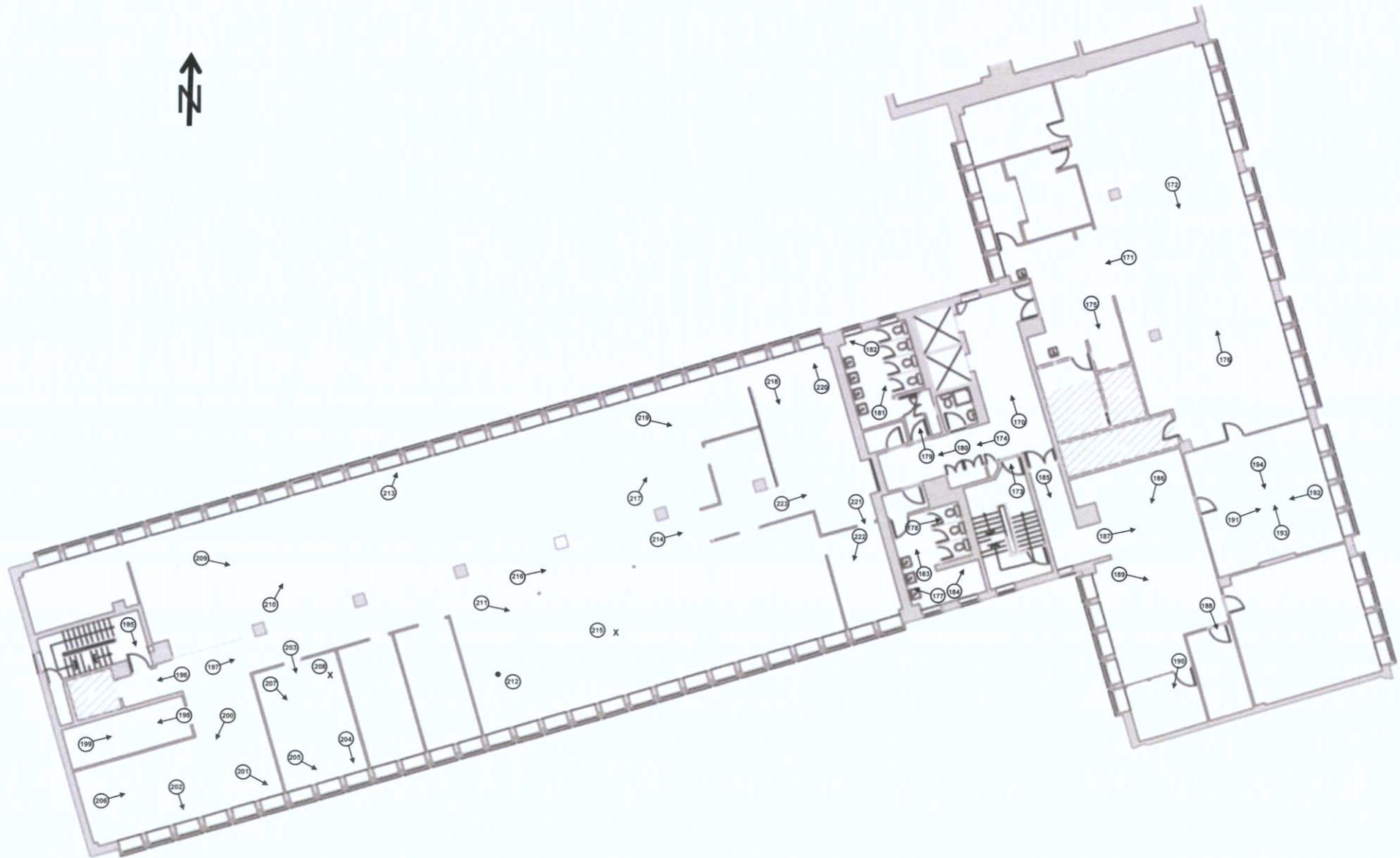


Figure 7: Plan at second floor level

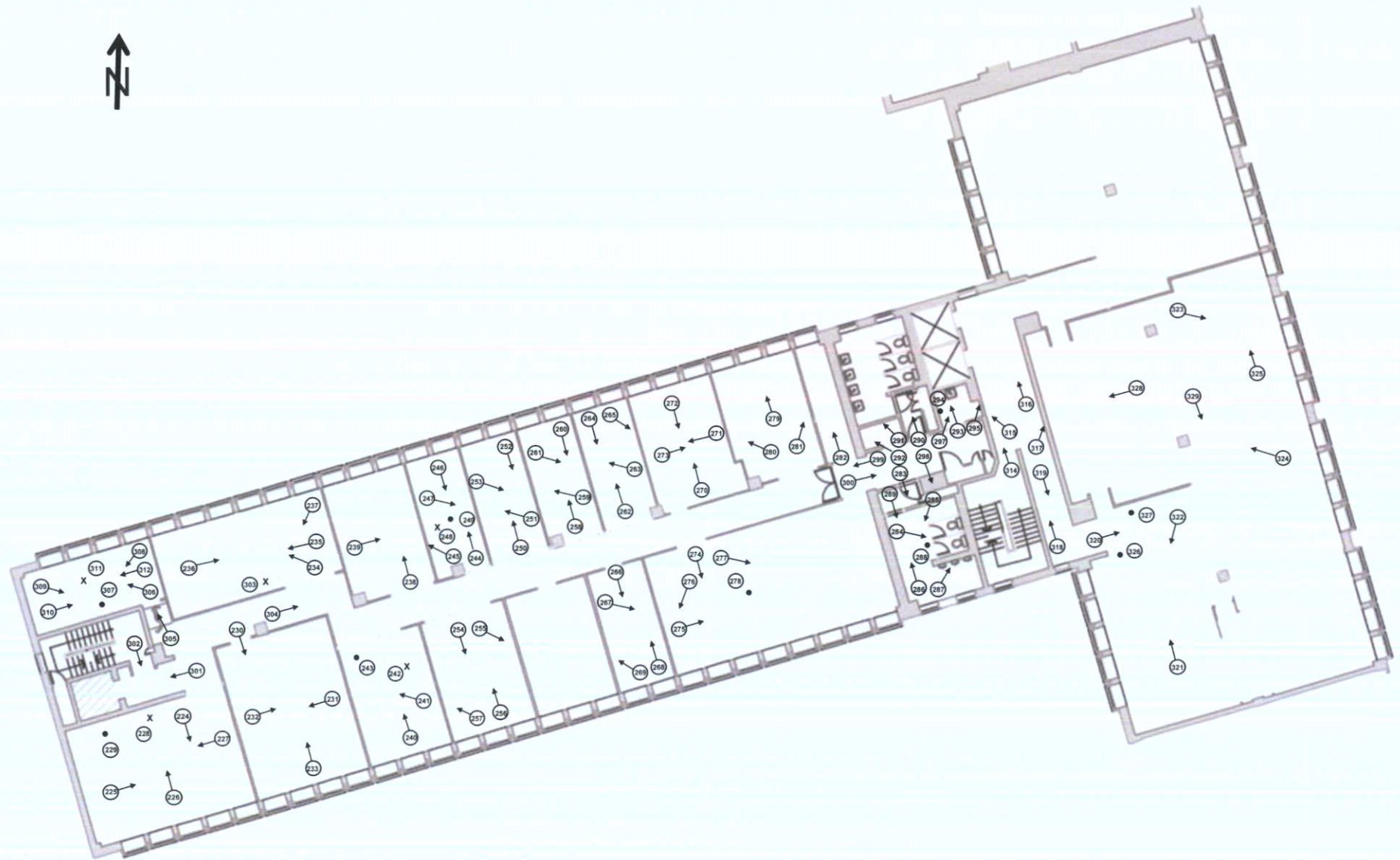


Figure 8: Plan at third floor level

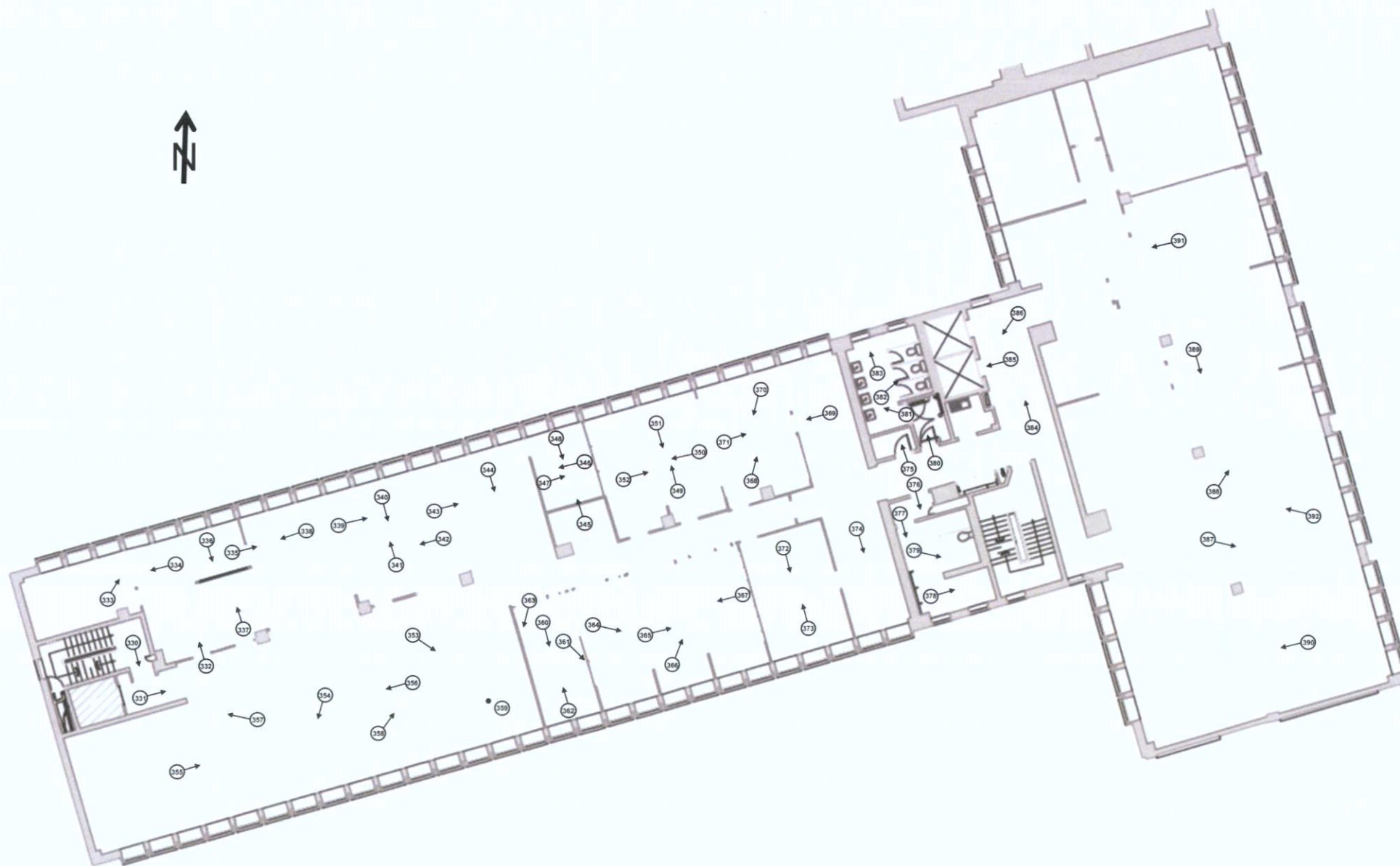


Figure 9: Plan at fourth floor level

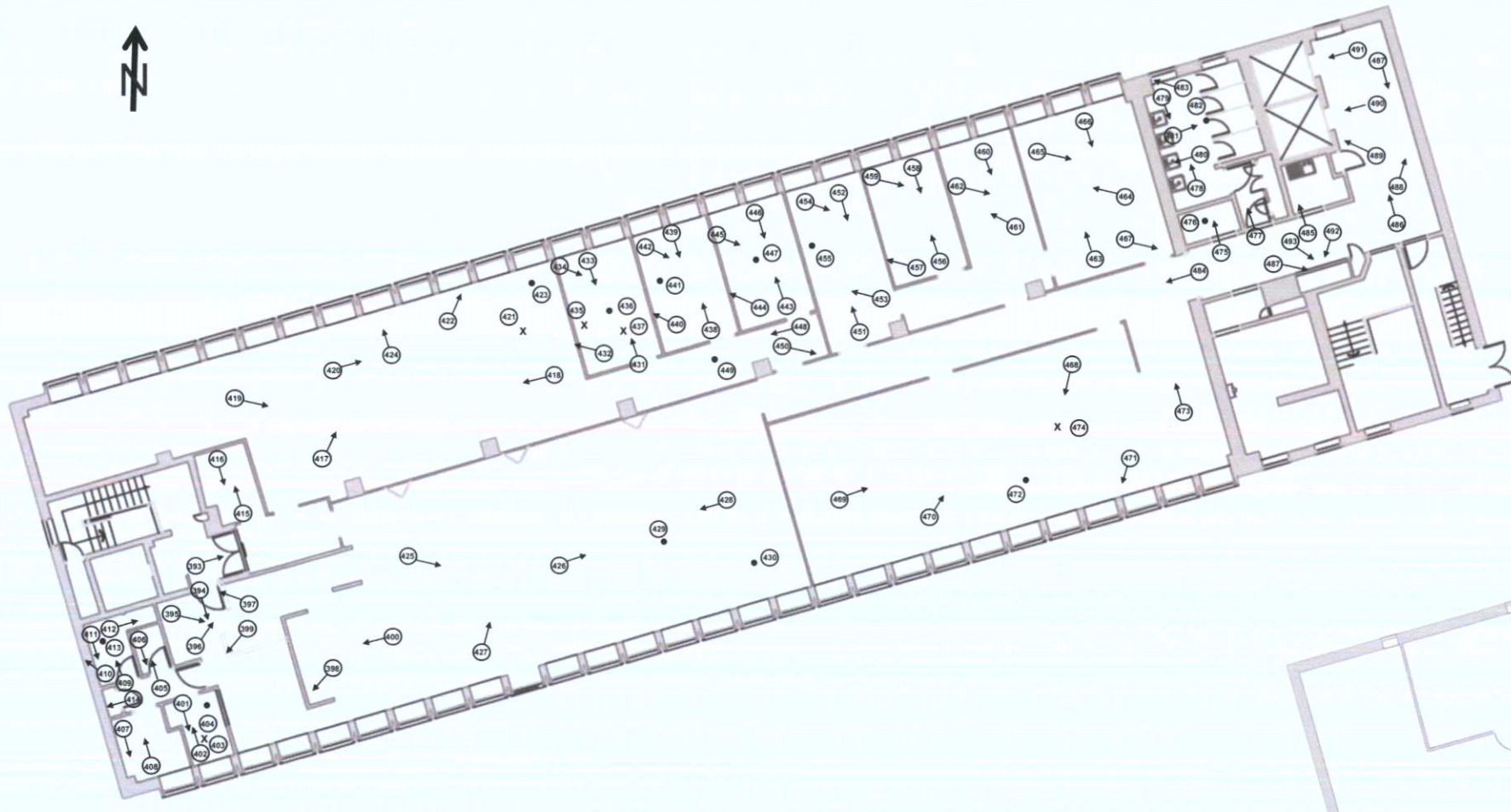


Figure 10: Plan at fifth floor level

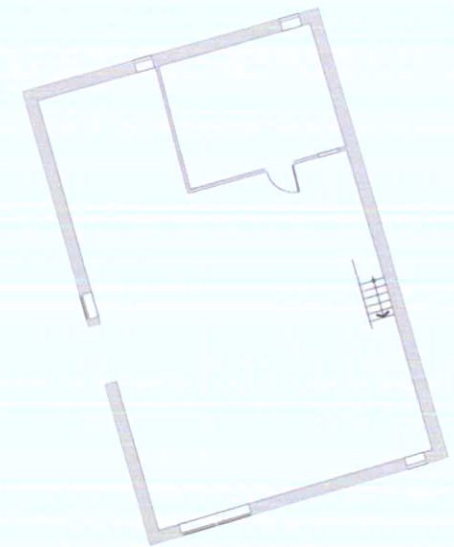


Figure 11: Plan at sixth floor level

BUILDING SURVEY

Exterior

The front of the twenty-bay-seven-storey-over-basement building faces east onto O'Connell Street Upper, while the rear is on the eastern side of Moore Lane. Laid out in a T-plan, the main building possesses a flat roof with central drains and ventilation duct. The link building to the rear rises above main building with a flat roof terminating in a single pitch to the east. There are centrally located drains to western roof, with plant room located above lift lobby. The east façade is framed by precast concrete piers and matching parapet dividing the elevation into five units, each with four bays, reflecting the rhythm and proportions of the typical Georgian Dublin buildings. Each plainly glazed steel-framed window breaks forward from the façade, is surrounded by decorative precast concrete hood mouldings and is supported on precast concrete brackets with ventilation grilles to the window aprons. There are five modern shop fronts at ground floor level. The north and south elevations of the western extension match the east façade and is comprised of four storeys rising over a precast-framed car park. The link structure is clad in modern brown brick.

The frontage to Moore Lane has four car park entrances and exits and two other doorways at ground-floor level, divided by walls of brick laid in stretcher bond. The first floor level on this frontage is the open side of the upper level of the car park, while above is the western end of the east-west section of the office building, faced in brick, laid in stretcher bond.



Plate 2: Rear façade above podium carpark



Plate 3: Detail of 1970s façade



Plate 4: Front of building — O'Connell Street

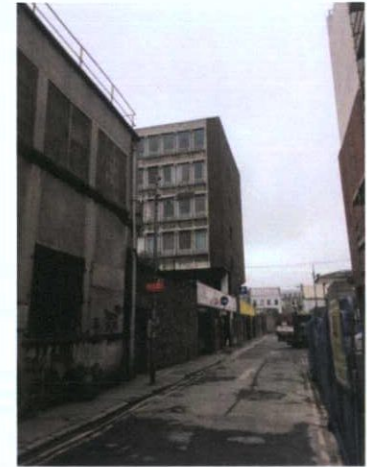


Plate 5: Rear of building — Moore Lane



Plate 6: Rear of building — Moore Lane



Plate 7: Rear of building — Moore Lane



Plate 8: Rear of building view from car park — View to east

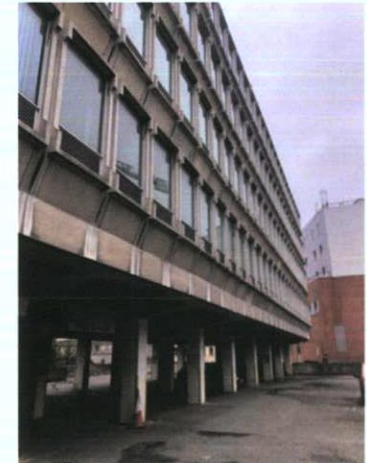


Plate 9: View from car park — View to west



Plate 10: View from car park — View to west



Plate 11: Rear of building view from car park — View to east



Plate 12: Hallway from level 5 leading to roofs and plant room

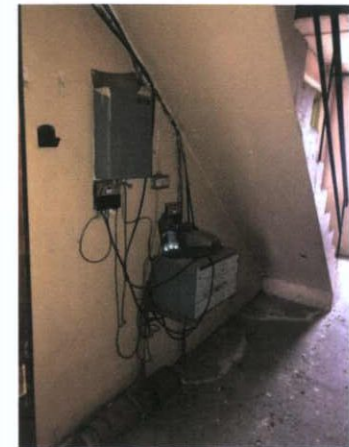


Plate 13: East wall of hallway

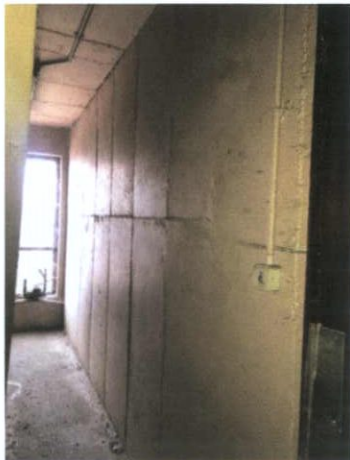


Plate 14: West wall of hallway



Plate 15: Ceiling of hallway

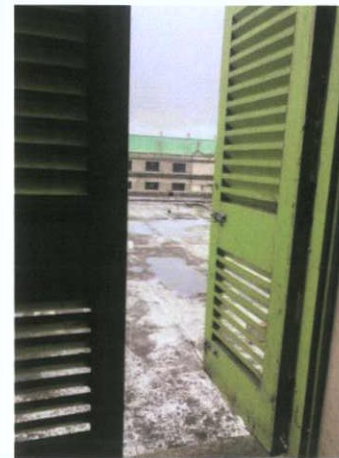


Plate 16: East roof — doorway



Plate 17: East roof — East 1



Plate 11: East roof — East 2



Plate 12: East roof — East 3



Plate 12: East roof — North



Plate 18: East roof — West 1

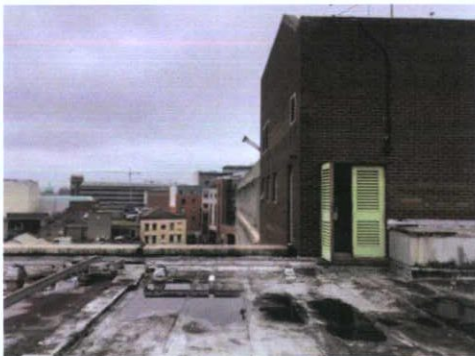


Plate 19: East roof — West 2



Plate 20: East roof — West 3



Plate 21: East roof — South 1



Plate 22: East roof — South 2

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Plate 11: East roof — covering



Plate 12: East roof — Ventilation unit



Plate 12: East roof — Drain



Plate 23: East roof — track for window cleaning crane



Plate 24: East roof — post for a fall arrest system wire



Plate 25: West roof — West



Plate 26: West roof — East



Plate 27: West roof — South



Plate 11: West roof — North



Plate 12: West roof — Drainage



Plate 12: West roof — Ventilation fan

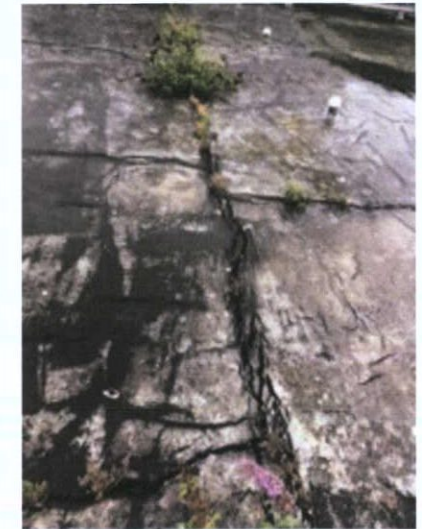


Plate 28: West roof — cracking



Plate 29: West roof — track for cleaning windows

Interior – Basement**Outline**

The basement maintains fabric from the previous historic buildings on this site, that were extant prior to the construction of the current structures. Some external walls are noted to be constructed of random rubble Calp limestone. There are a series of round-headed vaults with red brick voussoirs with limewash and other painted finishes to the soffits; it is known that there were a number of wine and whiskey vaults at this level in the 18th and 19th centuries. Many of these vaults are now intersected by precast concrete or concrete block walls. The floor is covered in rubble and debris comprised of historic brickwork and other materials. The ceiling is comprised of precast concrete panels.

Condition

Derelict.

Occupancy

Vacant



Plate 30: Concrete rising walls in basement

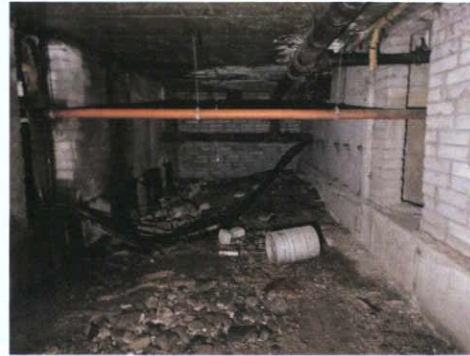


Plate 31: Rising walls and services in basement



Plate 32: Brick end wall in basement



Plate 33: Broken end of brick vault



Plate 34: Broken end of brick vault



Plate 35: Brick vault and concrete wall



Plate 36: Calp limestone wall in basement



Plate 37: Calp limestone wall in basement

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Plate 38: Brick and limestone wall in basement



Plate 39: Limestone wall in basement



Plate 40: Limewashed wall in basement



Plate 41: Vault and masonry in basement

Interior – Ground floor**Ground Level Retail****Unit 1- Pick & Pay****Outline of unit**

A convenience store with its main retail space, stock room and staff WC.

Finishes include a tiled floor throughout the unit, plastered concrete walls and a suspended ceiling housing air conditioning and lighting fixtures. There is a temporary partition forming a corridor that separates the retail space from the storeroom.

Condition

Well-maintained retail space with minor cosmetic damage.

Occupancy

Retail Unit



Plate 42: Shop front



Plate 43: View from entrance



Plate 44: Damage to ceiling in main retail space



Plate 45: Temporary partition behind service counter



Plate 46: Entrance looking onto O'Connell Street

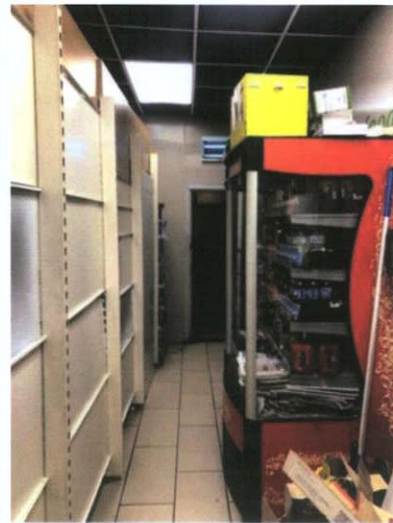


Plate 47: Corridor to stock room

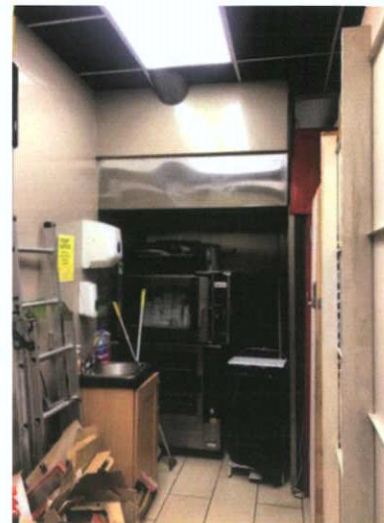


Plate 48: Cooking facility behind partition

Interior – Ground Floor – Retail**Unit 2 – Fortune Terrace Restaurant****Outline of unit**

Unit 2 is the largest of the ground floor retail units. It houses The Fortune Terrace restaurant which also occupies the first floor of the building. The ground floor of the restaurant holds a front reception area, male, female and accessible WC’s, security room, main dining area and ground floor kitchen. There is an emergency exit at the rear of the restaurant that leads out to the ground floor car park. There is a laminate floor to the front of the shop and a tiled floor to the rear. There are modern plaster finishes to the concrete walls, plasterboard ceiling finishes, and a number of light-weight partitions throughout, as well as a dumbwaiter within a lift shaft.

Condition

Well-maintained restaurant with minor cosmetic damage

Occupancy

Restaurant

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Plate 49: Restaurant Front



Plate 50: Restaurant Entrance



Plate 51: Dumbwaiter



Plate 52: Emergency exit to car park



Plate 53: Lift lobby and corridor to WC



Plate 54: Security room

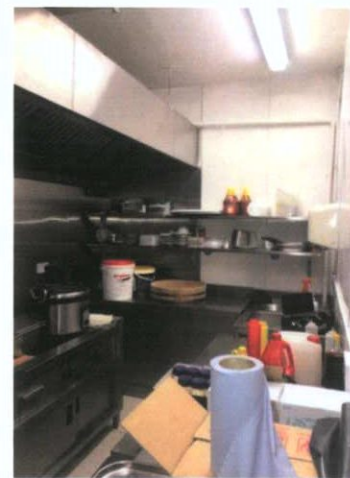


Plate 55: Ground floor kitchen



Plate 56: Lift doors



Plate 57: Main stairs



Plate 58: Ground floor south dining area



Plate 59: Signs of dampness and mould growth at rear of restaurant



Plate 60: Ground floor south dining area



Plate 61: Ground floor North dining area

Interior – Ground Floor – Retail**Unit 3 – Green island convenience store & Mr. Falafel****Outline of unit**

Unit 3 has been partitioned into two separate businesses. The Green Island Convenience store and Mr. Falafel, a takeaway restaurant. Green Island is the primary business, occupying most of the unit. The shop has a takeaway coffee kiosk at the front of the store, its main shopping area and two small stock rooms, one of which leads to an employee WC. Mr. Falafel occupies a very small part of the unit. It is a single room with cooking facilities. A series of concrete piers are noted along the south wall. There are lightweight partitions finished in plasterboard, modern plaster to concrete partitions and modern services and shop fittings throughout.

Condition

Well-maintained retail unit and takeaway restaurant with minor cosmetic damage.

Occupancy

Retail and take-away restaurant.



Plate 62: Shop Front



Plate 63: Coffee kiosk

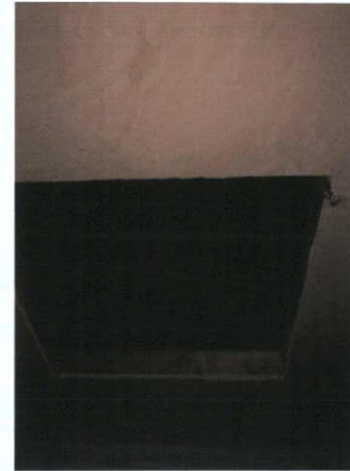


Plate 64: Access to service area above ceiling in stock room

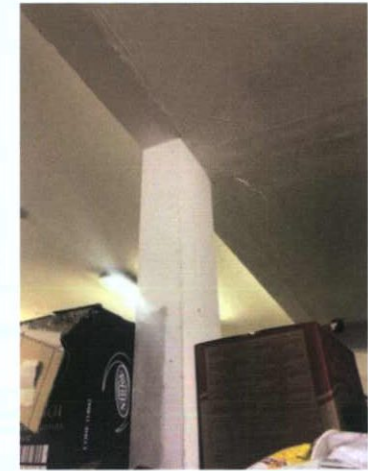


Plate 65: Centrally located concrete column within shop

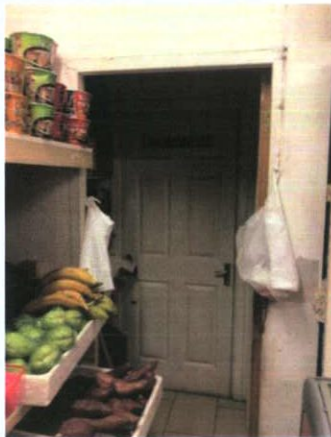


Plate 66: Stock room leading to staff WC



Plate 67: South wall of shop showing door to stock room at the rear; concrete piers abound



Plate 68: Rear of shop showing door to stock room and staff WC

Interior – Ground Floor – Retail**Unit 4 – Wings Gourmet Burger Restaurant****Outline of unit**

Wings Gourmet Burger restaurant occupies unit 4 of the ground level. The restaurant interior holds a front service counter, main dining area, customer WC's, a large kitchen and a staff WC to the rear. There is an emergency escape route through to the car park behind the unit.

Condition

Well-maintained restaurant with minor cosmetic damage.

Occupancy

Restaurant

Main Dining Room**Outline**

An open area with five single glazed, aluminium framed windows facing onto O'Connell Street. Walls are finished with brick cladding. Finished with wood effect vinyl flooring.

WC Hallway**Outline**

Hallway stemming from main entrance hallway to large dining room. Includes a storage unit and three WC's. Double doors provide a fire exit route to the rear car park. Hallway finished with the same vinyl wood flooring as found throughout the floor.

Private Dining Rooms**Outline**

Four private dining rooms, two on the north side of the room and two on the south side of the room. Both sets adjacent to each other. All four rooms are furnished with carpet and decorative timber pergolas suspended from the ceiling. Partition between room 1 and 2 covers the air conditioning outlet. External walls are of concrete construction.

Disused fire exit used as a storeroom**Outline**

A fire exit which was used as a storage hallway.

A stairway leads to O'Connell Street for emergency access. Damage to lighting services is visible. Walls were concrete construction.

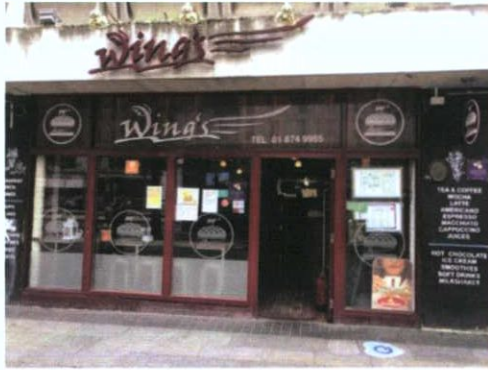


Plate 69: Restaurant front



Plate 70: Restaurant front to O'Connell Street

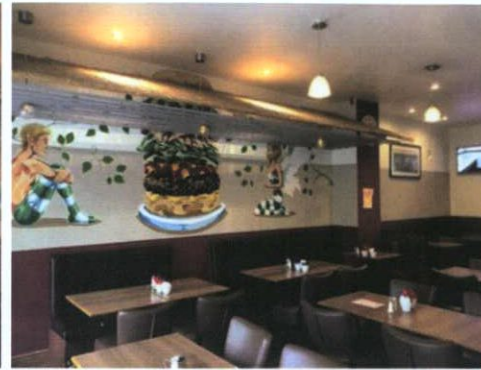


Plate 71: Dining area south wall



Plate 72: Front service counter

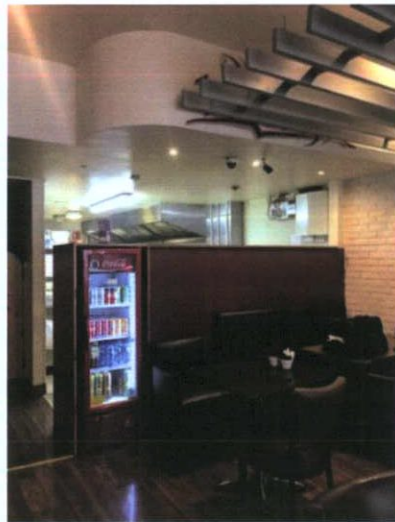


Plate 73: West wall of dining area

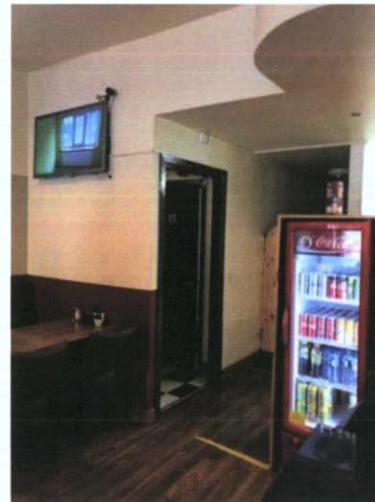


Plate 74: Entrance to Customer WC at rear of dining area

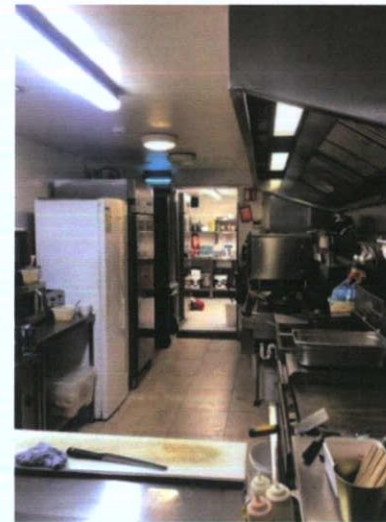


Plate 75: View to the rear of the kitchen

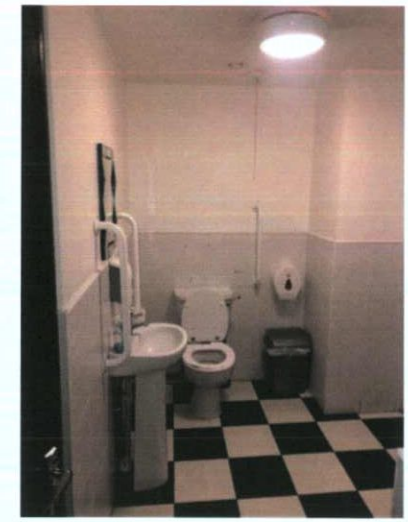


Plate 76: Accessible Customer WC



Plate 77: North wall of back kitchen



Plate 78: North wall of kitchen



Plate 79: South wall of back kitchen



Plate 80: Rear wall of kitchen



Plate 81: Left door — exit to car park
Straight Ahead- Staff WC



Plate 82: Saloon doors through to fire exit



Plate 83: South wall of kitchen

Exterior – Ground Floor

Car Park

Outline of level

The ground level car park is accessible from Moore Lane to the rear of the building. It holds a car park attendant kiosk and a small office. There are fire escape routes from each restaurant and retail unit at the front of the building that lead out through the car park to Moore Lane. External walls are clad in brown brick laid in stretcher. Internal walls are finished in modern plaster with ceiling being formed of precast concrete panels. Tarmac finish to parking surface.

Condition

In use, in need of renovation

Occupancy

Public car park occupying ground and first floor level of rear building.



Plate 84: Car park ground level entrance



Plate 85: Entrance barrier, Stairs to upper floors and car park office



Plate 86: Car park attendant Kiosk

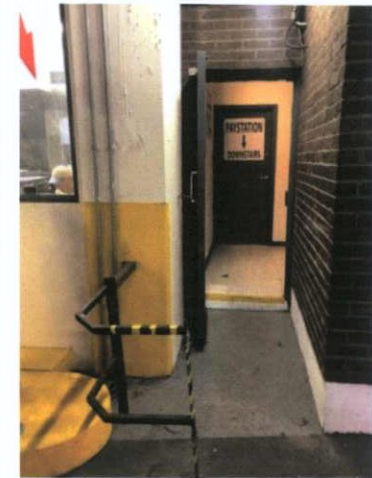


Plate 87: Stair core entrance



Plate 88: Emergency exit to Moore Lane



Plate 89: Car entrance barrier and office



Plate 90: South wall



Plate 91: Exit to Moore Lane



Plate 92: West wall at rear of car park



Plate 93: Building services on west wall

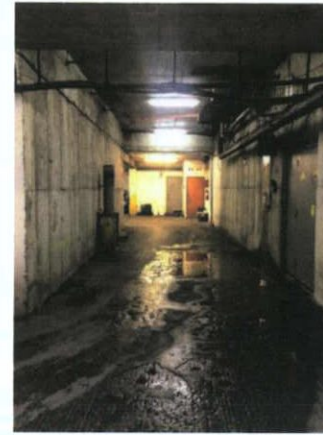


Plate 94: West corridor of car park with retail units fire exits on right



Plate 95: South corridor leading to exit on Moore Lane



Plate 96: Storage area on north wall



Plate 97: Exit from Pick & Pay shop in south east corner



Plate 98: WC Block for Wings restaurant located in the north east corner



Plate 99: Waste area in south east corner

Interior – First floor

Fortune Terrace

Outline of Level

An entrance hallway which leads to an open dining room with four private dining rooms, one kitchen, a disused fire exit used as a storeroom, a bar and three WC's. Access to the rear of this floor is through an emergency exit to the car park. Ventilation ducts that are visible from the front exterior are covered up on the interior. Sections of decorative timber ceiling joists are visible in all dining rooms above modern plasterboard ceilings. There is a mix of tile, carpet and laminate to the floors, with modern plaster and downstand bressummers forming an open-plan restaurant. Faux timber panelling is noted in private rooms. Air conditioning units in in place.

Condition

Well-maintained area with some minor damage. Poor positioning of air conditioning units. Door frames are damaged.

Occupancy

Occupied by restaurant



Plate 100: Entrance leading from staircase to level 1

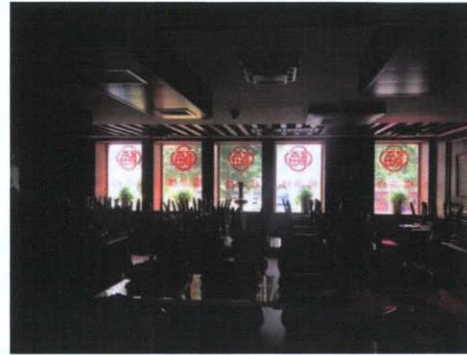


Plate 101: East facing wall onto O’Connell Street



Plate 102: South wall — kitchen door

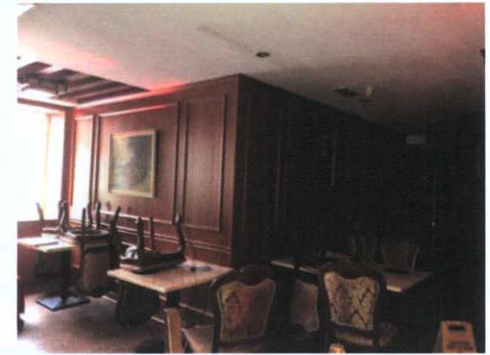


Plate 103: South east wall — entrances to private dining rooms

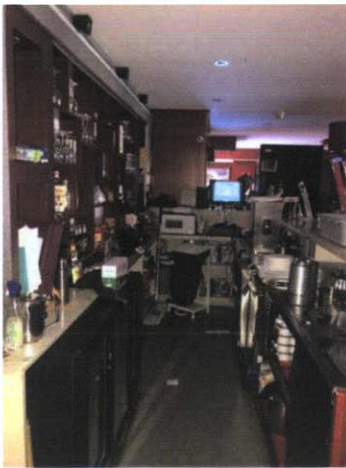


Plate 104: Bar area — North wall

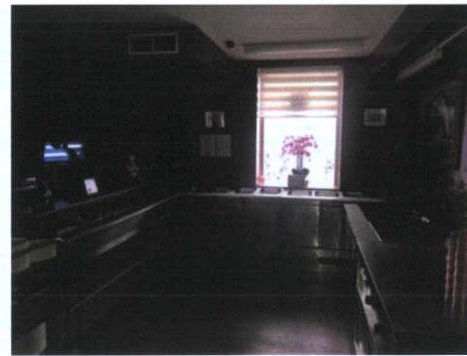


Plate 105: Bar area — West wall



Plate 106: North facing wall — entrances to private dining rooms



Plate 107: Bar area — South west wall



Plate 108: Entrance to WC hallway from main hallway

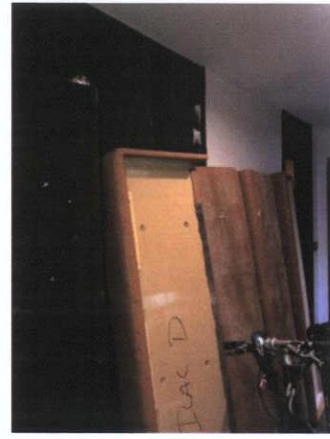


Plate 109: Storage unit in WC hallway



Plate 110: Entrance to Female WC



Plate 111: Entrance to Male WC



Plate 112: WC Hallways — fire exit leading to car park



Plate 113: Entrance to private room 1



Plate 114: North wall of private room 1



Plate 115: Decorative timber joists



Plate 116: Carpet in private dining



Plate 117: Hallway to private room 1

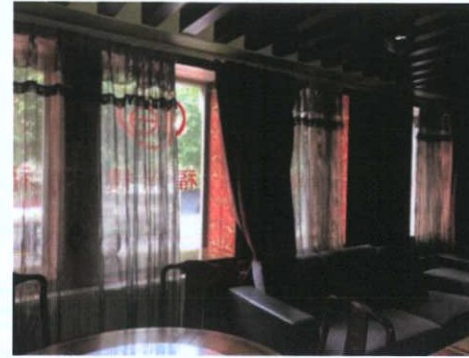


Plate 118: East wall of private room 1



Plate 119: West wall of private room 1



Plate 120: Air Conditioning unit blocked by partition wall



Plate 121: West wall in private room 2



Plate 122: South wall in private room 2



Plate 123: East wall in private room 2



Plate 124: East wall in private room 3



Plate 125: North wall in private room 3



Plate 126: North wall in private room 2



Plate 127: West wall in private room 3



Plate 128: South wall in private room 3



Plate 129: Decorative wall panelling in private room 3



Plate 130: Entrance to private room 4



Plate 131: North facing wall in private room 4



Plate 132: West wall in private room 4

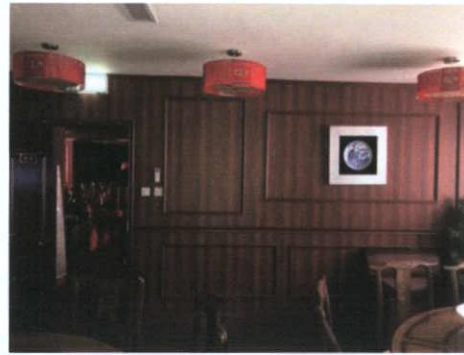


Plate 133: South wall in private room 4



Plate 134: East wall in private room 4



Plate 135: Entrance door to disused fire exit



Plate 136: Fire exit door



Plate 137: Hallway to fire exit



Plate 138: Damage to lighting in fire exit staircase



Plate 139: Stairway to O'Connell Street

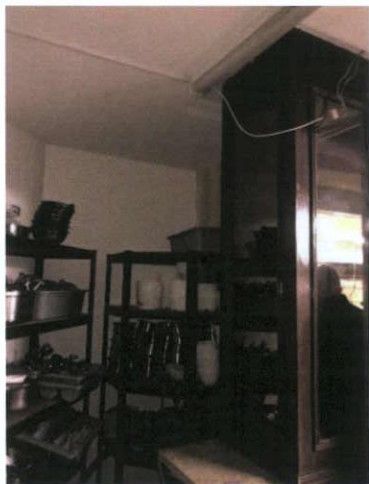


Plate 140: Storage area



Plate 141: Entrance from kitchenette to main kitchen



Plate 142: Kitchenette



Plate 143: East wall 1



Plate 144: West wall



Plate 145: South wall



Plate 146: East wall 2



Plate 147: North wall including service lift

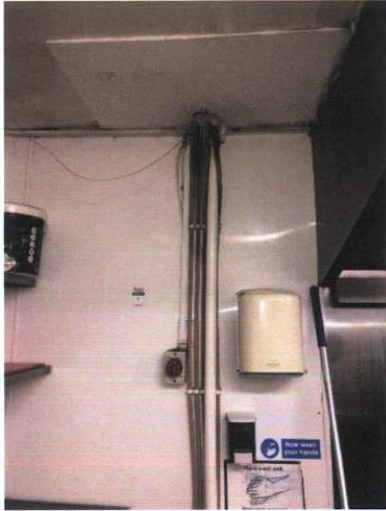


Plate 148: Services entering kitchen



Plate 149: Fire suppression system located in kitchen

Exterior – First floor

Car park

Outline

A public car park accessible from Moore Lane. There is a total of 48 parking spaces. An entrance ramp is located on the north boundary wall. An exit ramp is located on the south boundary wall. A stairway to the lower car park is located in the west stair core of the building. There is an emergency access route from Level 1 'Fortune Terrace' on the east car park wall. The north of the site is bound by the neighbouring property's wall.

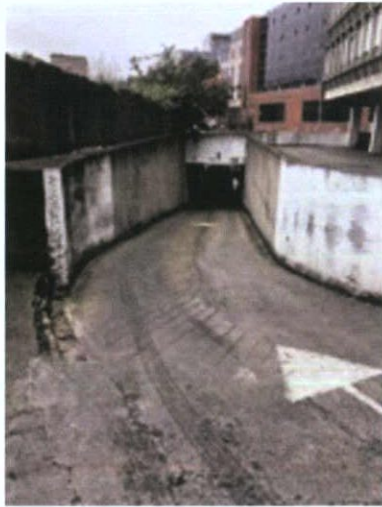


Plate 150: Exit ramp to Moore Lane



Plate 151: Front exit onto Moore Lane

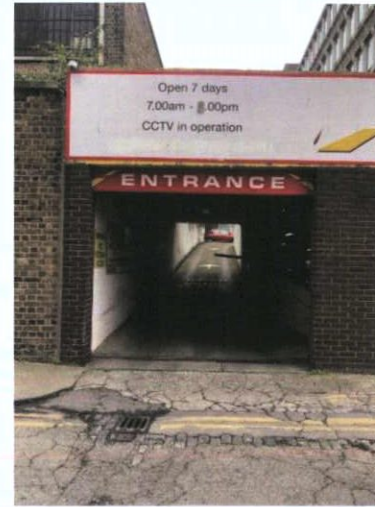


Plate 152: Entrance ramp from Moore Lane

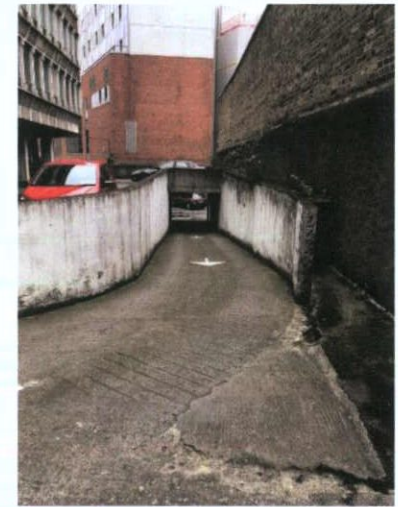


Plate 153: Entrance ramp from Moore Lane



Plate 154: North boundary wall



Plate 155: North boundary wall and entrance ramp



Plate 156: North boundary wall connecting to main building



Plate 157: South boundary wall connecting to main building



Plate 158: South boundary wall and exit ramp



Plate 159: South boundary wall



Plate 160: East side of car park — main building



Plate 161: Emergency exit from Level 1 'Fortune Terrace'



Plate 162: East wall including emergency exit



Plate 163: East side of car park — main building



Plate 164: West boundary wall parallel to Moore Lane



Plate 165: West boundary wall including west stair core

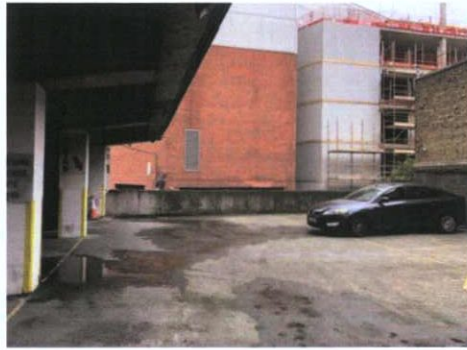


Plate 166: West boundary wall parallel to Moore Lane



Plate 167: South west wall of west stair core



Plate 168: South East area of car park



Plate 169: South east area of car park



Plate 170: North east area of car park



Plate 171: Car park ceiling

Interior – Second floor

Chinese Beifang Business Association in Ireland

Outline of level

This business occupies the second-floor level of the front section of the building. There is a main dining area with separate storage rooms and WCs. The rest of the floor is occupied by an office with a main open area, boardroom, WC and a room containing two cold water storage tanks. There are suspended ceilings throughout finished with ceiling tiles, modern plaster to concrete walls, and a mix of carpet and tile floor finishes.

Condition

Retrofitted from previous office space to current separate dining and office areas. Cosmetic damage throughout.

Occupancy

Public car park occupying ground and first floor level of rear building.



Plate 172: Lift lobby

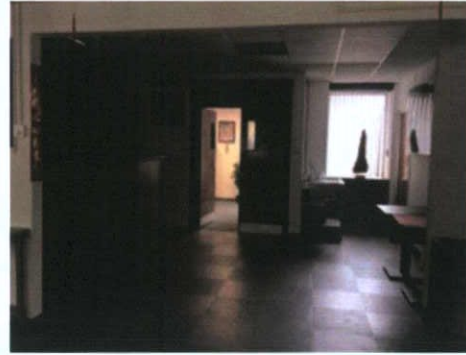


Plate 173: Entrance door to dining room from lift lobby



Plate 174: South west corner of dining room



Plate 175: Entrance to floor from stair core



Plate 176: WC lobby with concrete black wall in rear that separates the back building from the front



Plate 177: Bar counter in dining room



Plate 178: North wall of dining room



Plate 179: Sinks in men's WC

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Plate 180: Typical cubical layout



Plate 181: Entrance to women's WC



Plate 182: WC lobby



Plate 183: Women's Cubicles



Plate 184: Single glazed aluminium windows open down on a horizontal hinge



Plate 185: Exit from men's WC



Plate 186: Men's WC urinals



Plate 187: Corridor from lift lobby



Plate 188: West wall of office

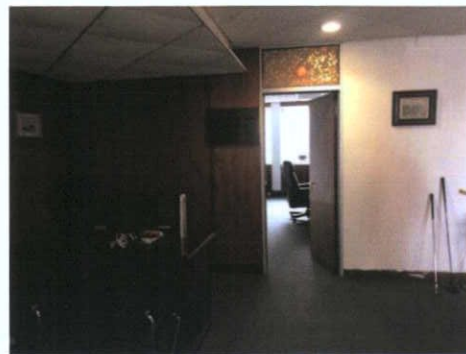


Plate 189: East wall of office



Plate 190: WC within office



Plate 191: East wall of office

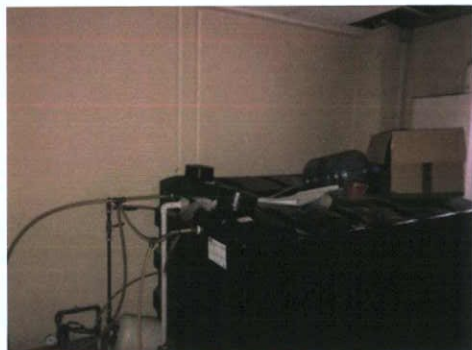


Plate 192: Water storage tanks in room on south side of office

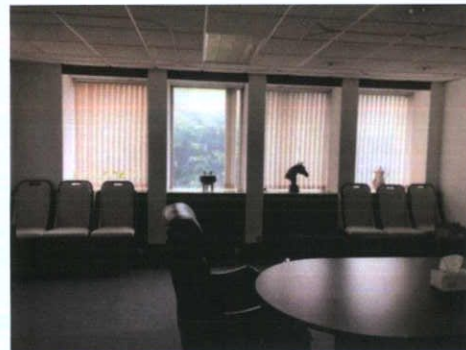


Plate 193: East wall of boardroom facing to O'Connell street



Plate 194: West wall of board room with exit to main office



Plate 195: North wall of board room

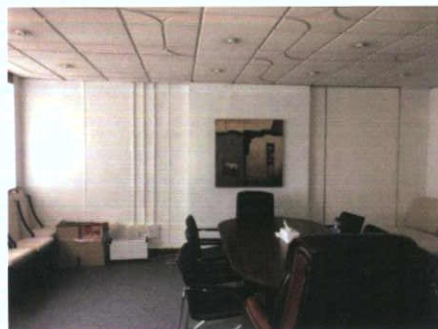


Plate 196: South wall of boardroom

Interior – Second floor

Vacant Area

Outline of level

The rear section of level 2 is a vacant office that has been derelict for several years. The floor has been partially demolished meaning that there is a lot of damage throughout and demolished materials filling multiple rooms. There is no way of traveling from the east to west sections of the building as the passage has been blocked to form two separate units. The concrete floor is exposed. There are some suspended ceilings with ceiling tiles throughout and modern plaster to concrete walls remaining throughout.

Condition

Derelict

Occupancy

Previously used office space but vacant for several years. Back section of building has been separated from front section by a block wall.

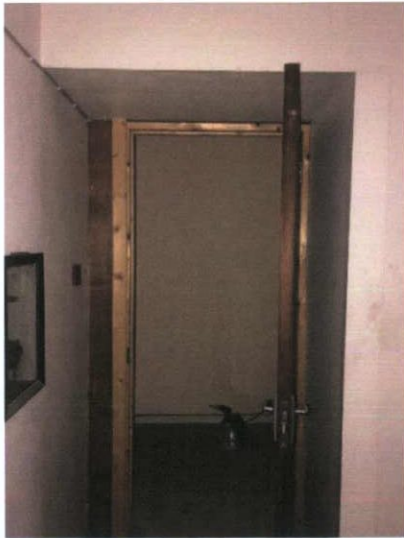


Plate 197: Entrance door to level from stairwell



Plate 198: Level entrance lobby showing grille from service riser behind

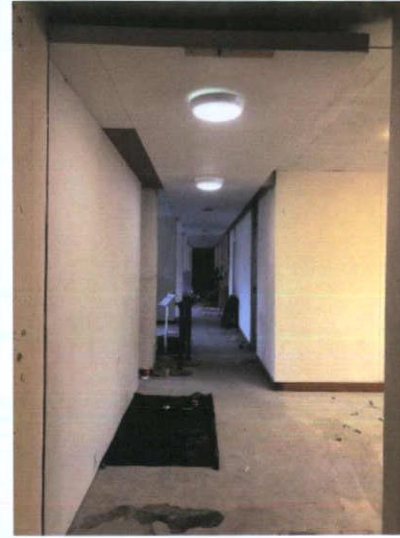


Plate 199: Main corridor for level

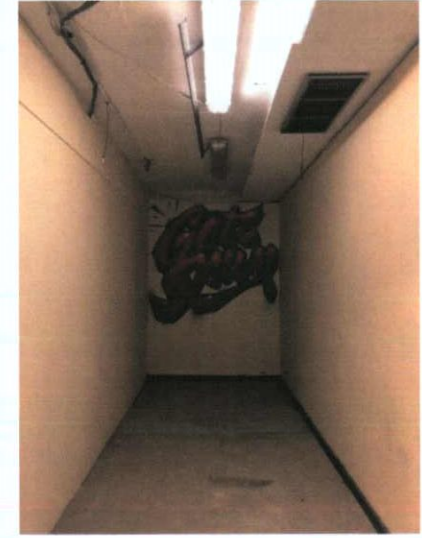


Plate 200: Small room by floor entrance – East wall



Plate 201: Small room by floor entrance

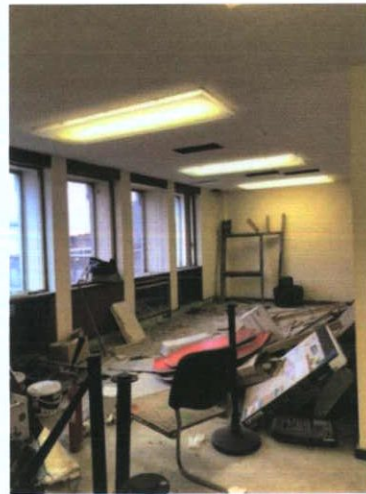


Plate 202: Room partially demolished — West wall



Plate 203: Image showing typical window cill



Plate 204: Typical window with ventilation unit below removed and air inlet grilles visible

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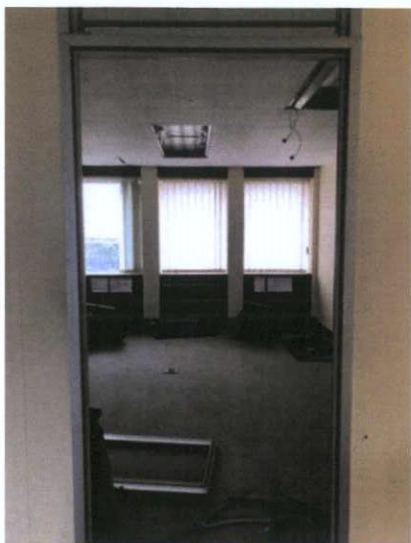


Plate 205: Typical office room of level 2



Plate 206: Window in office



Plate 207: Ventilation units removed



Plate 208: East wall

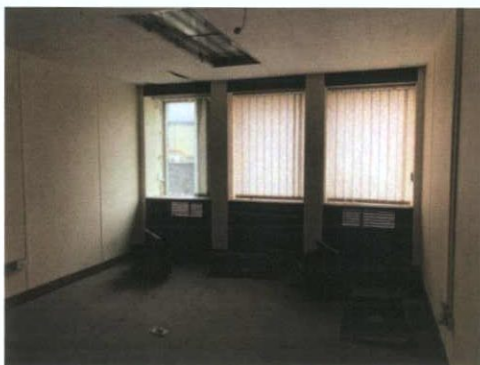


Plate 209: South wall of office



Plate 210: Ventilation grilles above office door

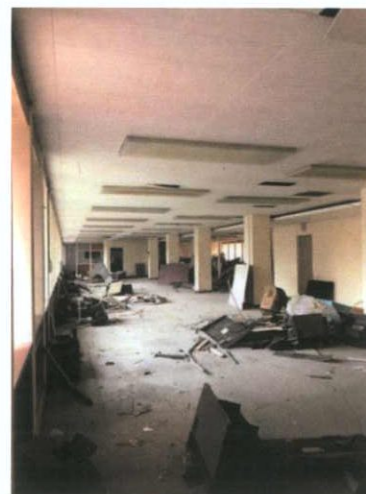


Plate 211: Level 2 main room



Plate 212: North wall with windows along the whole length



Plate 213: South section of main room used to store materials from demolition

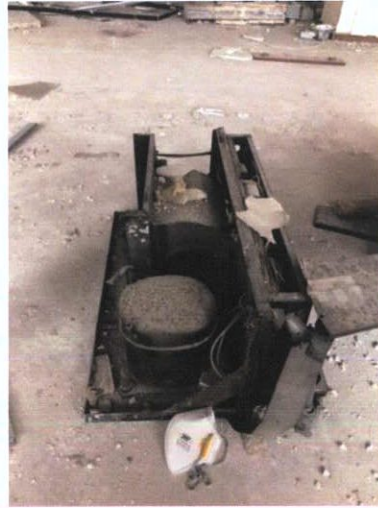


Plate 214: Typical ventilation unit from underneath windows



Plate 215: Windows on north wall with blind

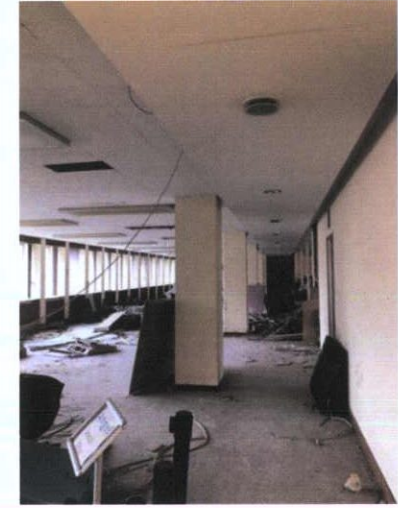


Plate 216: Central corridor between north and south section of main room



Plate 217: Typical suspended ceiling throughout floor



Plate 218: South section of main room and central corridor



Plate 219: Office behind reception area



Plate 220: Main reception area service counter



Plate 221: Waiting room next to reception area



Plate 222: Ventilation fan in reception window



Plate 223: Inaccessible office to south of reception area



Plate 224: Image showing suspended ceiling and old lighting in office



Plate 225: Exit doors to front of building that have been blocked up behind to separate areas

Interior – Third floor

Vacant Floor**Outline of floor**

An open floor plan which has metal stud partitions separating 15 rooms, one server room, one cleaning closet, male and female WC's and one kitchenette. A block wall is preventing access from the rear of the building to the front section. The front section is accessible through the east stairwell. Partial demolition of old metal stud partitions and walls are evident on the floor. All windows are single glazed with aluminium frames. Throughout this floor there is a suspended ceiling. In the main corridor the suspended ceiling is slightly lower to allow for added services. Some floor finishes remain, along with modern plaster to concrete walls.

Condition

Water damage is evident in many areas of the level including on walls, ceilings and floors. Old floor finish has been lifted and the concrete floor is now visible. Ceiling panels are damaged, and some have been removed.

Occupancy

Vacant

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Plate 226: Room 1 — South wall



Plate 227: Room 1 — East wall

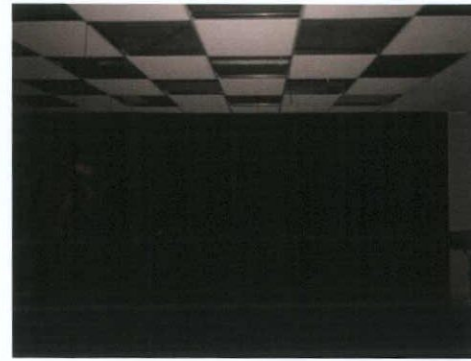


Plate 228: Room 1 — North wall



Plate 229: Room 1 — West wall



Plate 230: Concrete floor finish



Plate 231: Ceiling panels removed

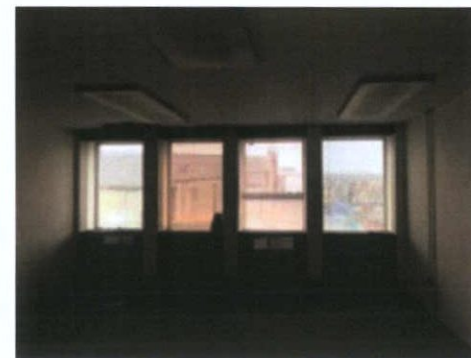


Plate 232: Room 2 — South wall



Plate 233: Room 2 — West wall

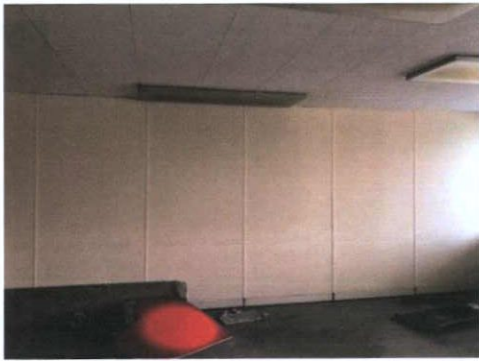


Plate 234: Room 2 — East wall



Plate 235: Room 2 — North wall



Plate 236: Room 3 — North wall

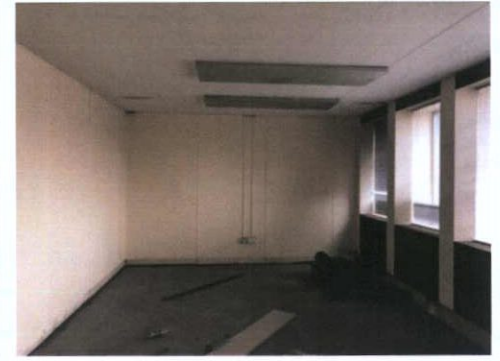


Plate 237: Room 3 — West wall

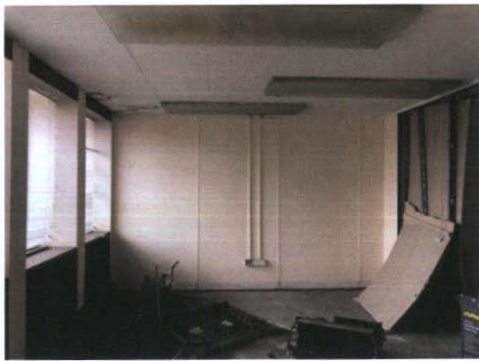


Plate 238: Room 3 — East wall



Plate 239: Room 3 — South wall



Plate 240: Room 5 — North wall

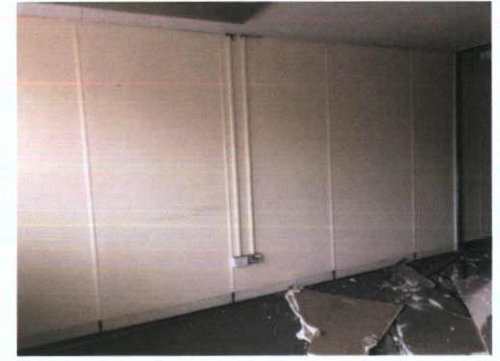


Plate 241: Room 5 — West wall



Plate 242: Room 6 — North wall



Plate 243: Room 6 — West wall



Plate 244: Room 6 — floor detail



Plate 245: Room 6 — Suspended ceiling



Plate 246: Room 7 — North wall



Plate 247: Room 7 — West wall



Plate 248: Room 7 — South wall



Plate 249: Room 7 — East wall



Plate 250: Room 7 — Floor detail



Plate 251: Room 7 — Ceiling detail



Plate 252: Room 8 — North wall



Plate 253: Room 8 — West wall

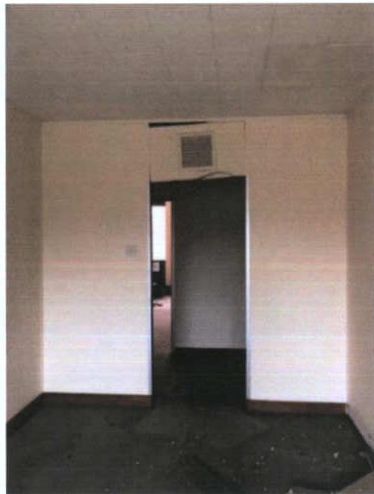


Plate 254: Room 8 — South wall

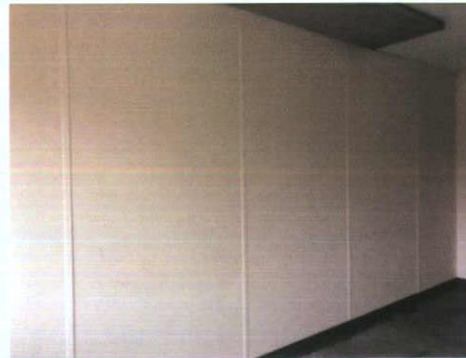


Plate 255: Room 8 — East wall



Plate 256: Room 9 — South wall

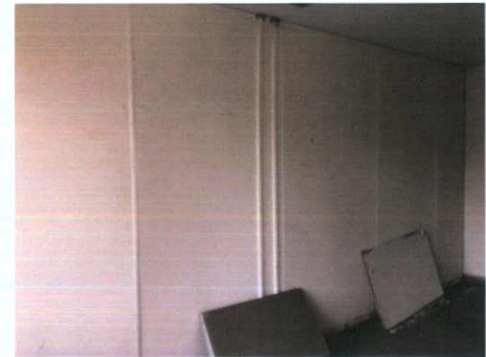


Plate 257: Room 9 — East wall



Plate 258: Room 9 — North wall

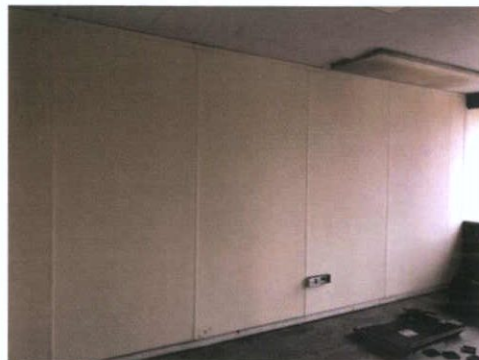


Plate 259: Room 9 — West wall



Plate 260: Room 10 — North wall



Plate 261: Room 10 — West wall



Plate 262: Room 10 — South wall



Plate 263: Room 10 — East wall



Plate 264: Room 11 — North wall



Plate 265: Room 11 — West wall



Plate 266: Room 11 — South wall

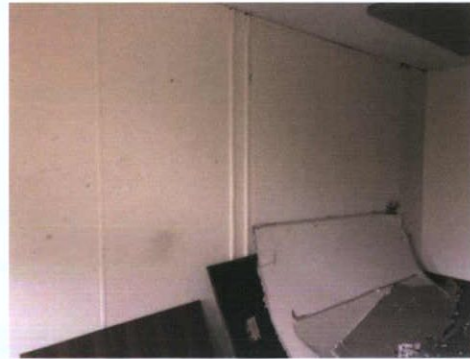


Plate 267: Room 11 — East wall



Plate 268: Room 12 — South wall



Plate 269: Room 12 — East wall



Plate 270: Room 12 — North wall



Plate 271: Room 12 — West wall



Plate 272: Room 13 — North wall

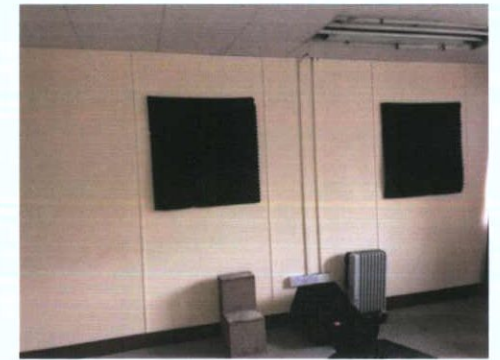


Plate 273: Room 13 — West wall

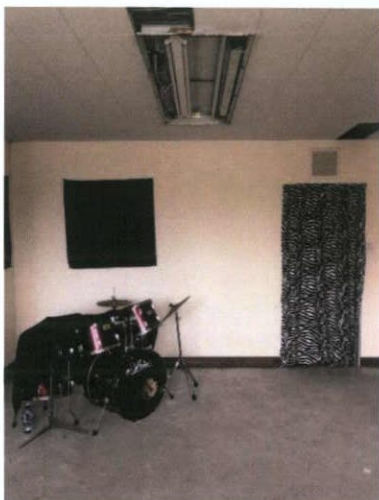


Plate 274: Room 13 — South wall

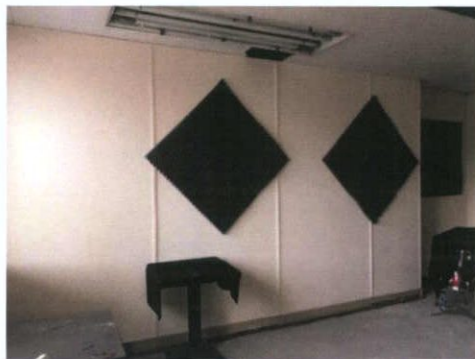


Plate 275: Room 13 — East wall



Plate 276: Room 14 — South wall



Plate 277: Room 14 — East wall



Plate 278: Room 14 — West wall



Plate 279: Room 14 — Non accessible due to demolished material



Plate 280: Room 14 — suspended ceiling material



Plate 281: Room 15 — North wall



Plate 282: Room 15 — West wall



Plate 283: Room 15 — East wall



Plate 284: Room 16 — North wall — non accessible due to demolished materials



Plate 285: Male WC entrance from main hallway



Plate 286: Male WC — East wall cubicles



Plate 287: Male WC — West wall demolished wash hand basins



Plate 288: Male WC — entrance door



Plate 289: Male WC — urinals



Plate 290: Male WC — lighting and suspending ceiling



Plate 291: Male WC — South wall



Plate 292: Female WC entry from main hallway- not accessible



Plate 293: Doorway of cleaning closet



Plate 294: East wall of cleaning closet



Plate 295: Doorway of kitchenette



Plate 296: Damage to ceiling of kitchenette



Plate 297: East wall of kitchenette



Plate 298: East wall of kitchenette



Plate 299: North / East wall conjoining



Plate 300: Electrical service cupboard on main corridor



Plate 301: Main corridor facing west



Plate 302: Main corridor facing east- no through access to rest of floor due to block wall

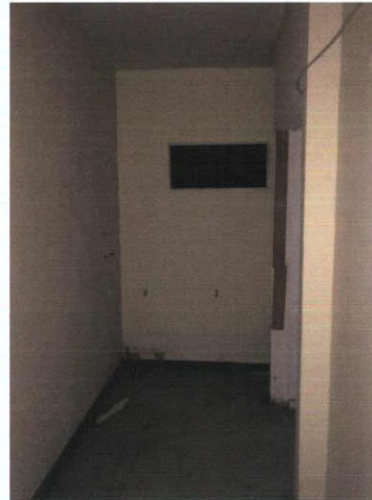


Plate 303: Entrance from west stairwell onto level 3



Plate 304: Entrance doorway onto level 3 from west stairwell



Plate 305: Carpet visible underneath metal stud partitions



Plate 306: Main corridor at west side of floor



Plate 307: Plant room – North wall



Plate 308: Plant room – North wall

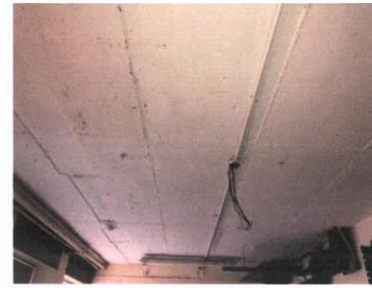


Plate 309: Plant room ceiling

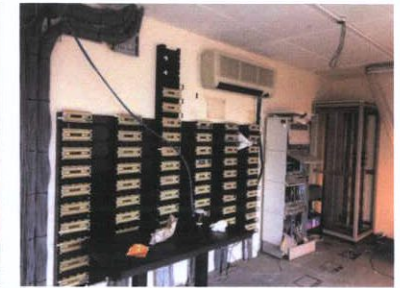


Plate 310: Plant room – South wall



Plate 311: Plant room – South wall



Plate 312: Plant room – East wall



Plate 313: Plant room – raised access flooring

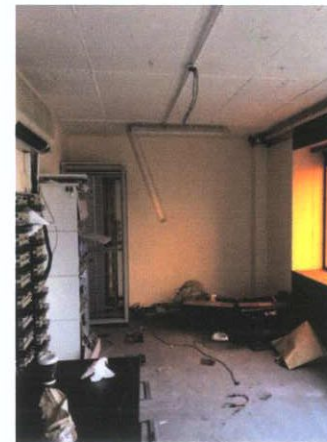


Plate 314: Plant room - West wall

Interior – Third floor

Outline

Access through east stairwell. One open spaced room that stem from the main hallway. There is evidence this may have been three smaller rooms separated by stud partitions however these partitions are mainly demolished. Access to the west side is of the floor is prohibited by a block wall. One lift core with two lifts are accessible to upper and lower levels. These were not in working order. Concrete floor finish. Single-glazed aluminum windows.

Condition

In the main hallway the structure of a suspended ceiling remains but the panels have been removed. Excess furniture and rubble make the floor hard to access.

Occupancy

Vacant

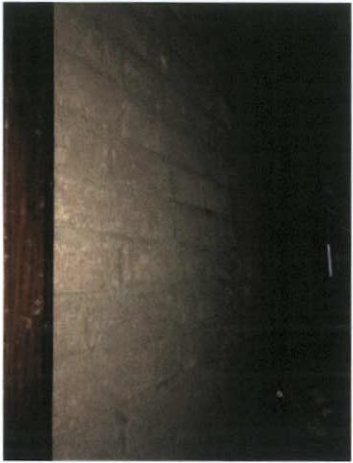


Plate 315: Block wall preventing access to rest of the floor



Plate 316: Entrance/lift lobby



Plate 317: Lift lobby – West wall



Plate 318: Lift lobby – North wall



Plate 319: Lift lobby – East wall

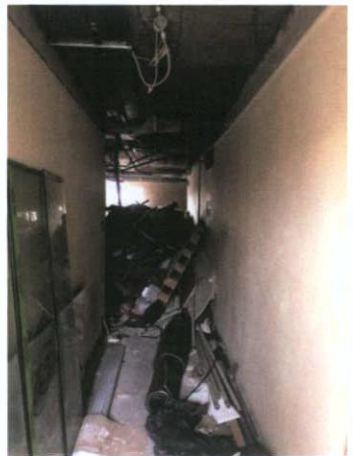


Plate 320: Corridor from lift lobby to main room



Plate 321: Corridor from lift lobby to main room



Plate 322: Main room - East wall



Plate 323: Main room - North wall



Plate 324: Main room - West wall



Plate 325: Main room - East wall



Plate 326: Main room - West wall



Plate 327: Main room - North wall



Plate 328: Main room - Exposed concrete ceiling



Plate 329: Main room - Ceiling



Plate 330: Main room - West wall



Plate 331: Main room - South wall

Interior – Fourth floor

Vacant Floor

Outline of level

Previously used as office space, this floor has been vacant for several years. It has been partially demolished, and this is evident throughout the floor. It is accessible by both the east and west stairwells and was previously served by two lifts that are now not in use. There are suspended ceilings and modern plaster to concrete walls, along with metal stud partitions throughout. Concrete columns support on open plan arrangement.

Condition

Derelict

Occupancy

Previously used office space but vacant for several years. Occupies the entire fourth floor level of the building.



Plate 332: Entrance to level 4 from west stairwell



Plate 333: View from entrance to down main corridor



Plate 334: Room 1 — Entrance with damaged stud partition

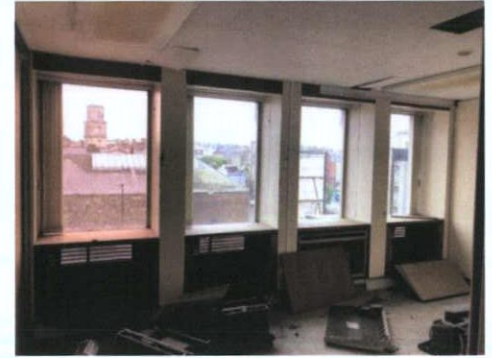


Plate 335: Room 1 — North wall



Plate 336: Room 1 — West wall



Plate 337: Room 1 — East wall



Plate 338: South wall showing damaged partition



Plate 339: Room 2 — North wall

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Plate 340: Room 2 — West wall



Plate 341: Room 2 — East wall



Plate 342: Room 2 — South wall



Plate 343: Room 3 — North wall



Plate 344: Room 3 — West wall



Plate 345: Room 3 — East wall

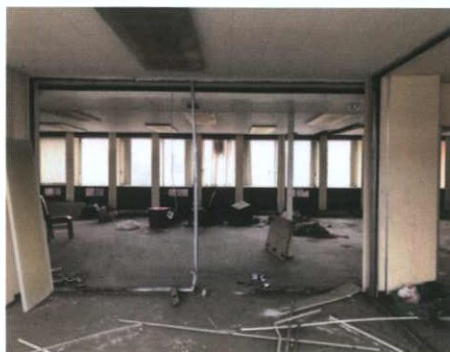


Plate 346: Room 3 — South wall



Plate 347: Room 4 — North wall



Plate 348: Room 4 — West wall with removed stud partitions



Plate 349: Room 4 — East wall



Plate 350: Room 4 — South wall



Plate 351: Room 5 — North wall



Plate 352: Room 5 — West wall



Plate 353: Room 5 — South wall



Plate 354: Room 5 — East wall



Plate 355: Room 6 — South wall

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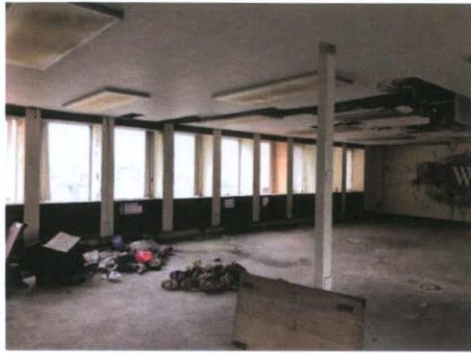


Plate 356: Room 6 — South wall

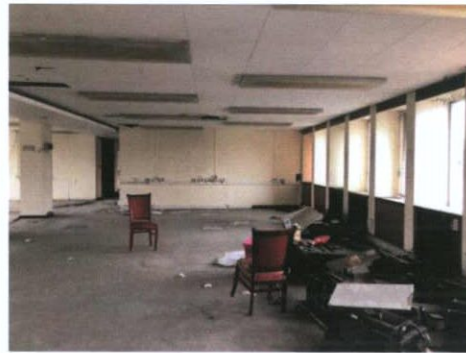


Plate 357: Room 6 — East wall



Plate 358: Room 6 — West wall



Plate 359: Room 6 — North wall



Plate 360: Room 6 — North wall



Plate 361: Exposed drainage pipes in ceiling



Plate 362: Room 7 — South wall



Plate 363: Room 7 — East wall



Plate 364: Room 7 — North wall



Plate 365: Room 7 — West wall



Plate 366: Rooms 8-12 — South wall



Plate 367: Rooms 8-12 — East wall



Plate 368: Rooms 8-12 — North wall



Plate 369: Rooms 8-12 — West wall



Plate 370: Rooms 13-16 — North wall



Plate 371: Rooms 13-16 — West wall

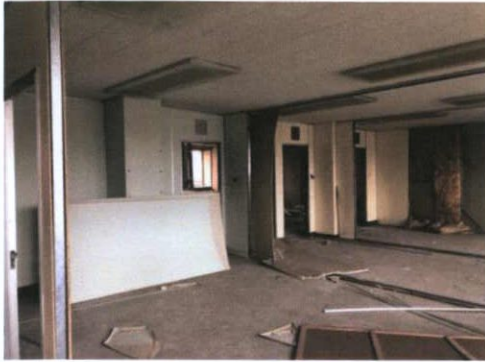


Plate 372: Rooms 13-16 — South wall



Plate 373: Rooms 13-16 — East wall



Plate 374: Room 17 — South wall



Plate 375: Room 17 — North wall



Plate 376: Room 18 — South wall



Plate 377: Room 19 — Cleaners



Plate 378: Men's WC entrance



Plate 379: Men's WC wash area